



Enquiries: R Mowzer
Contact number: 021-8074822
Reference: 15/4/1 (13453) P
Date: 17 August 2026

RM/JA

NuPlan Africa Town & Urban Planners
Riverplaas
Lady Loch Road
WELLINGTON

Theo@nuplanafrica.co.za

Sir

APPLICATION FOR THE CLOSURE OF A PUBLIC PLACE, CONSOLIDATION, REZONING AND SUBDIVISION: ERVEN 13453 AND 13455 PAARL

I refer to your application, dated 26 March 2024, and have to inform you that the Drakenstein Municipal Planning Tribunal on 13 August 2026 resolved, that:

*"1. The **approval be granted** in terms of Section 60(1)(a) of the Drakenstein Bylaw on Municipal Land Use Planning, 2018, for the following:*

*1.1 **Closure** of Erven 13453 and 13455 Paarl as a Public Place;*

*1.2 **Consolidation** of Erven 13453 ($\pm 12\,926\text{m}^2$) and 13455 ($\pm 1\,792\text{m}^2$) Paarl to form a larger land unit measuring $\pm 14\,718\text{m}^2$ in extent, as indicated on the Consolidation Plan drawn by Nuplan Africa dated 12 October 2018, (See **attached Annexure D**);*

*1.3 **Rezoning** of the consolidated erf (Erven 13453 and 13455 Paarl) from Open Space Zone to Subdivisional Area, together with the inclusion into the Incremental Housing Overlay Zone in order to upgrade an existing informal residential settlement;*

- 1.4 Subdivision of the rezoned property into 78 portions, as indicated on the Rezoning and Subdivision Plan drawn by Nuplan Africa dated 7 June 2023, (See attached Annexure E), as follows:

Subdivision of Consolidated Erf (Erven 13453 and 13455 Paarl)			
Zoning	Land Use	Number of Erven	Size (±m²)
Conventional Housing Zone	Residential	73	7 225
Utility Zone	Services Servitude	3	140
Open Space Zone	Public Open Space	1	3 203
Transport Zone	Public Street	1	4 150
Total		78	14 718

2. The approvals mentioned in Paragraphs 1.1 to 1.4 above, be subject to the following conditions laid down in terms of Section 66 of the Drakenstein Bylaw on Municipal Land Use Planning, 2018.

2.1 Compliance with the following general conditions:

- 2.1.1 This approval applies only to the application in question, and shall not be construed as authority to depart from any other legal prescriptions or requirements;
- 2.1.2 Any amendments to the application are subject to the relevant approval;
- 2.1.3 No formal buildings are to be erected or existing formal structures altered without the approval of building plans by Council;
- 2.1.4 The consolidation takes place largely in accordance with the respective consolidation plan (See attached Annexure D);
- 2.1.5 The subdivision takes place largely in accordance with the respective subdivision plan (See attached Annexure E);
- 2.1.6 Adherence to the conditions set out in the memorandum of Drakenstein Municipality: Civil Engineering Services Department referenced 15/4/1 (13453 & 13455) P (1485) dated 30 September 2024, (See attached Annexure H);
- 2.1.7 Adherence to the conditions set out in the memorandum of Drakenstein Municipality: Electro Technical Engineering Services Department referenced 8/2/5_13453_13455 dated 03 June 2024, (See attached Annexure I);

2.1.8 *Adherence to the conditions set out in the memorandum of Drakenstein Municipality: Environmental Management Department referenced 15/4/1 (13453) P dated 03 June 2024, (See attached Annexure J);*

2.1.9 *Should the applicant fail to comply with any of the conditions laid down, then council reserves the right to impose further future conditions.*

3. *The following be regarded as the reasons for the decision*

3.1 *The proposed development can be seen as a logical extension to the immediate area and will not have any detrimental impact on the existing character of the area nor will it be visually obtrusive;*

3.2 *It is expected that the finalization of the informal settlement can be accommodated from an infrastructural point of view as confirmed by the Drakenstein Municipality: Civil Engineering Division;*

3.3 *No negative impact on the safety, health and the wellbeing of the surrounding community are envisaged. In fact, the formalisation of the informal settlement will play a role in increasing the wellbeing of the existing community;*

3.4 *No negative impacts on heritage related matters are foreseen. It should be noted that an NID to Heritage Western Cape was submitted whereby the said department stipulated that the proposed development will not have any heritage impacts;*

3.5 *It is safe to say that housing developments of this nature will have a low traffic impact and all vehicular movements will be able to continue to operate at acceptable levels with the adjacent transport network;*

3.6 *The application at hand entails the development of a residential development with the upgrading of existing informal settlement etc. within the urban edge and is therefore considered to be in line with accepted town planning principles."*

Your attention is drawn to the general right of appeal to the Executive Mayor being the Appeal Authority in terms of Section 79(2) of the Drakenstein Bylaw on Municipal Land Use Planning 2018, by any person whose rights are affected by the decision of an authorized official, within **21 days** of notification of the decision. This approval is therefore suspended until further notice.

Please also notify (email or per hand) the surrounding property owners who were notified of the application during the public participation process and the objectors (if applicable), of

their general right of appeal – proof of notification must be provided. The appeal procedures are set out in Section 80 of the above-mentioned Bylaw (attached).

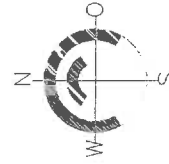
All appeals should be lodged to the City Manager of Drakenstein Municipality, P.O. Box 1, Paarl, 7622 or on customercare@drakenstein.gov.za

Yours faithfully



H.G. STRIJDOM (PR. PLN A/1058/1998)
SENIOR MANAGER: LAND DEVELOPMENT MANAGEMENT

please address all correspondence to the City Manager, P O Box 1, Main Street, Paarl, 7622, or Customer care, e-mail, customercare@drakenstein.gov.za, and Henk Strijdom, henks@drakenstein.gov.za



PROPOSED CONSOLIDATION:
Erf 13453 (12 926m²) &
Erf 13455 (1 792m²)



KLEINDRAKENSTEIN STREET

BOKMAKIERIE STREET

JANFISKAAL STREET

POS
Erf 13453



BASEMAP: PROVIDED BY J&B SURVEYS (2002018)

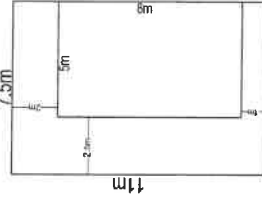
NOTA: ALLE AFSTANDE BY BENADERING EN ONDERHEWIG AAN OPMETTING
NOTE: ALL MEASUREMENTS APPROXIMATE AND SUBJECT TO SURVEYING

ZONING	LAND USE	PTN NR	N	AREA (m²)	%
Conventional housing	Dwelling house	1-73	73	7 225	49
Open Space	POS	74	1	3 203	22
Utility	Service servitude	75-77	3	140	1
Transport	Streets	78	1	4 150	28
TOTAL			78	14 718	100

SUBJECT PROPERTIES
ERVEN 13453 & 13455

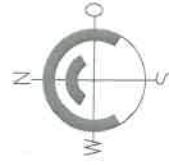


TYPICAL ERF SIZE &
UNIT PLACEMENT



Erf size : 82.5m²
Unit size : 40.0m²

ANNEXURE E



PAARL

ERVEN 13453 & 13455
(Amstelhof)

Proposed Rezoning and Subdivision
Dated: 7 June 2023
Scale: A3 - 1:1000(A1 1:500)

B0015 - Sub_Erf13453&13455 - 01



BASEMAP PROVIDED BY (AB SURVEYS (Pty) Ltd)

NOT A SCALE ASSESSMENT OF MEASUREMENTS BY CAD/ENGINEERING DRAWING
NOTE: ALL MEASUREMENTS APPLICABLE TO THE SUBJECT TO THE SURVEY

HERSEENINGS - REVISIONS		
NO	DATE/TIME	BESKRIVING/DESCRIPTION
01	7 June 2023	RESE LAYOUT & LAND USE TABLE

Our Ref: HM / CAPE WINELANDS/ DRAKENSTEIN/ PAARL/ AMSTELHOF/ ERF 13453 & 13455
 Case No.: 26605CSI1107 / HWC25091714CSI1107
 Enquiries: Chiara Singh
 E-mail: Chiara.Singh@westerncape.gov.za
 Tel: 021 829 3325



Sune (GNEC) | Drakenstein Municipality
 Applicant | Owner
sune@gnec.co.za | customercare@drakenstein.gov.za

RESPONSE TO NOTIFICATION OF INTENT TO DEVELOP: DECISION
In terms of Section 38(1) of the National Heritage Resources Act (Act 25 of 1999) and the Western Cape
Provincial Gazette 6061, Notice 298 of 2003

NOTIFICATION OF INTENT TO DEVELOP: PROPOSED SUBDIVISION AND REZONING OF THE EXISTING INFORMAL SETTLEMENT TO ACCOMMODATE CONVENTIONAL HOUSING, TOGETHER WITH UTILITY ZONING FOR CIVIL SERVICES AND TRANSPORT ZONING FOR AN ACCESS ROAD ON ERF 13453 & 13455, BOKMAKIERIE STREET, AMSTELHOF, PAARL, SUBMITTED IN TERMS OF SECTION 38(8) OF THE NATIONAL HERITAGE RESOURCES ACT (ACT 25 OF 1999)

The matter above has reference.

Heritage Western Cape is in receipt of your application for the above matter received. This matter was discussed at the Heritage Officers Meeting held on 17 November 2025.

You are hereby notified that, since there is no reason to believe that the proposed subdivision and rezoning of the existing informal settlement to accommodate conventional housing, together with utility zoning for civil services and transport zoning for an access road on Erf 13453 & 13455, Bokmakierie Street, Amstelhof, Paarl, will impact on heritage resources, no further action under Section 38 of the National Heritage Resources Act (Act 25 of 1999) is required. HWC chance finds procedure to be included in the environmental authorization.

However, should any heritage resources, including evidence of graves and human burials, archaeological material and paleontological material be discovered during the execution of the activities above, all works must be stopped immediately, and Heritage Western Cape must be notified without delay.

This letter does not exonerate the applicant from obtaining any necessary approval from any other applicable statutory authority.

HWC reserves the right to request additional information as required.

Should you have any further queries, please contact the official above and quote the case number.

Waseefa Dhansay
 Assistant Director: Professional Services



www.westerncape.gov.za/cas

Street Address: Protea Assurance Building, Green Market Square, Cape Town, 8001 • Postal Address: P.O. Box 1060, Cape Town, 8001
 • Tel: 121 4021 483/5050 • E-mail: info@heritagewesterncape.gov.za

Straatadres: Protea Assurance gebou, Groenemarkplein, Kaapstad, 8001 • Posadres: P.O. Boks 1060, Kaapstad, 8001
 • Tel: 121 4021 483/5050 • E-pos: info@heritagewesterncape.gov.za

Idilesi yendawo: Kuphilaqatha 1, Kwibakhwa iphethe Asowabaz, Borsenmarkplein Square, iKaap, 8001 • Idilesi yeposi: monitolo yehlabathi
 • Idilesi yemibhalo: 121 4021 483/5050 • Idilesi yemibhalo: info@heritagewesterncape.gov.za


DRAKENSTEIN

MUNICIPALITEIT • MUNICIPALITY • UMASIPALA

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 🌐 www.drakenstein.gov.za
 ✉ customercare@drakenstein.gov.za
 📍 Civic Centre, Berg River Boulevard, Paarl 7646

Memo

To:	EXECUTIVE DIRECTOR: CORPORATE & PLANNING SERVICE (ATTENTION: E. CYSTER)
From:	EXECUTIVE DIRECTOR: ENGINEERING SERVICES
Enquiries:	LH. SMITH
Collaborator number:	
Reference number:	15/4/1 (13453 & 13455) P (1485)
Date:	30 September 2024
Subject:	APPLICATION FOR CLOSURE OF PUBLIC OPEN SPACE, CONSOLIDATION, REZONING AND SUBDIVISION ON ERVEN 13453 & 13455, BOKMAKIERIE, PAARL.

These conditions will be subject to review by the Engineering Services Department upon receipt of Civil and/or building plans for approval. This may require all the studies carried out for the proposed development to be updated and revised accordingly, which shall include compliance with the latest legislation, amended legislation, latest or amended standards and revised master planning.

The aforementioned is based on the possibility of changes in the physical environment in respect of engineering infrastructure between date of issuing of conditions and actual building/construction being imminent, which may impact on available relevant infrastructure capacities as at time of initial issuing of conditions.

NOTE: This comment covers a number of disciplines and each section needs to be dealt with by a competent specialist in that field co-ordinated by the consultant managing the application. No correspondence will be entered into with individual consultants.

THE FOLLOWING CONDITIONS WILL APPLY

1 STREETS & TRAFFIC

- 1.1 Any new roads/streets and accesses will be the responsibility of the developer, including all internal and bulk connectors;
- 1.2 *Any alterations to the existing road network will be the responsibility of the developer which includes design, approval and construction of any additional traffic control and or traffic calming measures as detailed in the Traffic Impact Assessment (TIA) dated February 2019, referenced TJ1807 and*

- 1.3 *Traffic calming measures must also be implemented on internal streets within the development.***

2 STORM WATER

- 2.1 Any new storm water networks will be the responsibility of the developer, including all internal and bulk connectors;
- 2.2 Pollution control measures to mitigate chemical and solid pollution must be provided at inlet and outlet structures as may be relevant;
- 2.3 Only pre-development run-off of a 1:2 year storm event will be accepted into the existing system. Provision must be made to accommodate the detention of run-off for a 1:50 year storm event; and
- 2.4 Provision must be made for an effective rainwater harvesting system to be planned and designed for all roof water. The volume of the storage facilities should be based on 0.02m³/m² roof area.

3 WATER

- 3.1 ***The applicant shall be responsible for the installation of the infrastructure as detailed in the GLs report dated 18 October 2023;***
- 3.2 All individual portions must be provided with a separate water connection and a separate water meter to municipal specifications;
- 3.3 All the metered connections must be installed one meter inside the erf boundary of each portion;
- 3.4 Water saving devices shall be installed in toilets, bathrooms and basins; and
- 3.5 Any existing system that is to remain shall be upgraded to minimum municipal standards.

4 WASTEWATER SERVICES

- 4.1 All individual portions must be provided with a separate wastewater connection;
- 4.2 All the connections must be installed one meter inside the erf boundary of each portion; and
- 4.3 Any existing system that is to remain shall be upgraded to minimum municipal standards.

5 SOLID WASTE

- 5.1 The Municipality undertakes to remove household refuse in accordance with its by-laws and shall make its own arrangements with the occupants of erven in the township/development, for the removal of such household refuse;
- 5.2 ***Municipal refuse Municipal refuse trucks will enter the development to collect wheelie bins on collection days. All internal roads are to be designed to allow safe turning movements of the refuse truck;***
- 5.3 On refuse removal days the waste bins must then be put out on the kerbside to be serviced; and
- 5.4 A waste recovery/recycling initiative has been implemented in Drakenstein and the development will have to be prepared to comply with any requirements as the project is rolled out.

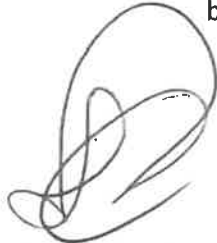
6 DEVELOPMENT CHARGES

- 6.1 Based on the information provided in the application, Development Charges are payable by the developer. Development Charges will be calculated when a more detailed SDP is submitted.

7 GENERAL

- 7.1 The developer is responsible for the payment of a Developers Charge (water, sewer, stormwater, solid waste and roads) which can be discounted against the bulk service cost needed for the development;
- 7.2 The developer is responsible for the funding of all connections to the bulk services and all internal works;
- 7.3 The findings of the bulk service capacity analysis carried out by councils consultant GLS Engineers, needs to be implemented simultaneously with the development;
- 7.4 All of the works, including but not limited to; roads, stormwater, water, sewers, landscaping, irrigation, etc. shall be designed by a suitably registered (ECSA registration for the civil works and SACLAP registration for the landscaping) person and any such works shall be constructed under supervision of such registered person. All such design plans shall be submitted to the Civil Engineering Services Department of Drakenstein Municipality for approval prior to the commencement of construction;
- 7.5 The whole of the works shall fall under the control of a single project manager;

- 7.6 The municipality shall be represented at all site meetings for the duration of the construction of the works and to this end timeous notification of such meetings shall be supplied to the Civil Engineering Services Department;
- 7.7 All works where applicable shall be constructed to at least the minimum standards as set out in, Engineering Services: Municipal Standards;
- 7.8 A set of accurate as-built drawings as per Drakenstein Municipality: Civil Engineering Department's Standards must be submitted at the practical completion inspection; and
- 7.9 The above conditions are to be complied with in stages.
- 7.9.1 Requirements associated with the preparation of plans, drawings, permits, agreements and approvals, shall be complied with prior to construction;
- 7.9.2 Requirements associated with the completion of construction, development charges, as-built drawings, maintenance management plans, agreements, etc. These will be complied with prior to the transfer of any subdivided erf within the development property or occupation of any property/building in the phase; and
- 7.9.3 Proof of compliance for the requirements associated with long term operations must be available on request.



LP Pienaar Pr Eng,

EXECUTIVE DIRECTOR: ENGINEERING SERVICES

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LP/ls



Memo

To:	Senior Manager: Land Development Management For attention: H Strijdom/C van der Bank/E Cyster
From:	Manager: Planning and Customer Services
Enquiries:	L Laing
Reference number:	8/2/5_13453_13455
Date:	3 June 2024
Subject:	APPLICATION FOR CLOSURE OF PUBLIC OPEN SPACE, REZONING TO SUBDIVISIONAL AREA AND SUBDIVISION, ERF 13453 & 13455, PAARL

Time Limit on Conditions: These conditions will be limited to a period of one (1) year from the date as on the covering memo from this department. After this period a re-application must be submitted for approval by this department.

1. INFORMATION REQUIRED/OUTSTANDING

1.1. None.

2. THE FOLLOWING CONDITIONS WILL APPLY

- 2.1. Only one service cable connection per erf is allowed.
- 2.2. No trees or any type of structures may be erected under or near any new or existing electrical infrastructure.
- 2.3. All electrical equipment shall comply with Drakenstein Municipality standards and have twenty-four-hour access for maintenance purposes.
- 2.4. The developer will be responsible for all cost to relocate any municipal infrastructure situated in the road reserve or withing the development to be moved or relocated to new proposed positions.
- 2.5. A new electrical reticulation layout must be designed for this development. The previous mentioned design shall be underground.
- 2.6. The developer is required to include measures to improve energy efficiency for any additional load requirement to the existing electrical supply.
- 2.7. Service servitudes may be required where proposed electrical reticulation may be planned to be installed.

- 2.8. A service level agreement between the municipality and the owner or developer of above-mentioned erf must be arranged at Electro-Technical Service Department (Planning and Design division - Chief Engineering Technician).

3. GENERAL

- 3.1. NRS069 Network recovery cost will apply for any additional load requirement and will be calculated according to the following as indicated in approved tariffs: **R4 317.00 per kVA (V.A.T. included)**. The cost as mentioned above is valid until 30 June 2024 and will escalate thereafter for each upcoming financial year which is between 1 July and 30 June.
- 3.2. The developer will be responsible to carry all cost of the electrical installation.
- 3.3. All upgrade and service costs must be paid at the finance section in cash before any service connection may be rendered.
- 3.4. A private registered electrical consultant and installation electrician shall be used to do all designs, installations, and alterations according to SANS 10142, Occupational Health and Safety Act (Act 85 of 1993), the regulations made thereunder and Drakenstein Municipal by-laws prior to the development.
- 3.5. A certificate of compliance and occupational certificate must be handed over to the Electro-Technical Services Department (Service section) on the day the service is rendered or as the case may be.
- 3.6. The Manager: Planning and Customer Services with reference to the services and conditions has no objection to this application.

Yours faithfully



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MANAGER: PLANNING AND CUSTOMER SERVICES

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DRAKENSTEIN
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Civic Centre, Berg River Boulevard, Paarl 7646

Memo

To:	MANAGER: LAND USE PLANNING & SURVEYING (ATTENTION: J DANIELS)
From:	MANAGER: ENVIRONMENTAL MANAGEMENT
Enquiries:	SHAUN REECE
Collaborator number:	2150822
Reference number:	15/4/1(13453)P
Date:	03 JUNE 2024
Subject:	APPLICATION FOR THE CLOSURE OF PUBLIC OPEN SPACE, CONSOLIDATION, REZONING TO SUBDIVISIONAL AREA AND SUBDIVISION: ERF 13453 & 13455, PAARL

Reference is made to the above-mentioned application for:

- Closure of public open space on erf 13453 Paarl;
- Consolidation of erven 13453 and 13455 Paarl;
- Rezoning to subdivisional area of the consolidated erf; and
- Subdivision of the consolidated erf.

The purpose of the application is to utilize the land for residential purposes as part of the UISP Housing program.

One major challenge is the lack of trees and greenery in the area. The Environmental Management Section has the following conditions for the proposed development:

- The parks department must be consulted prior to transfer, to ensure innovative methods are considered for introducing greenery into the development.

Kind regards

.....
C. WINTER
MANAGER: ENVIRONMENTAL MANAGEMENT