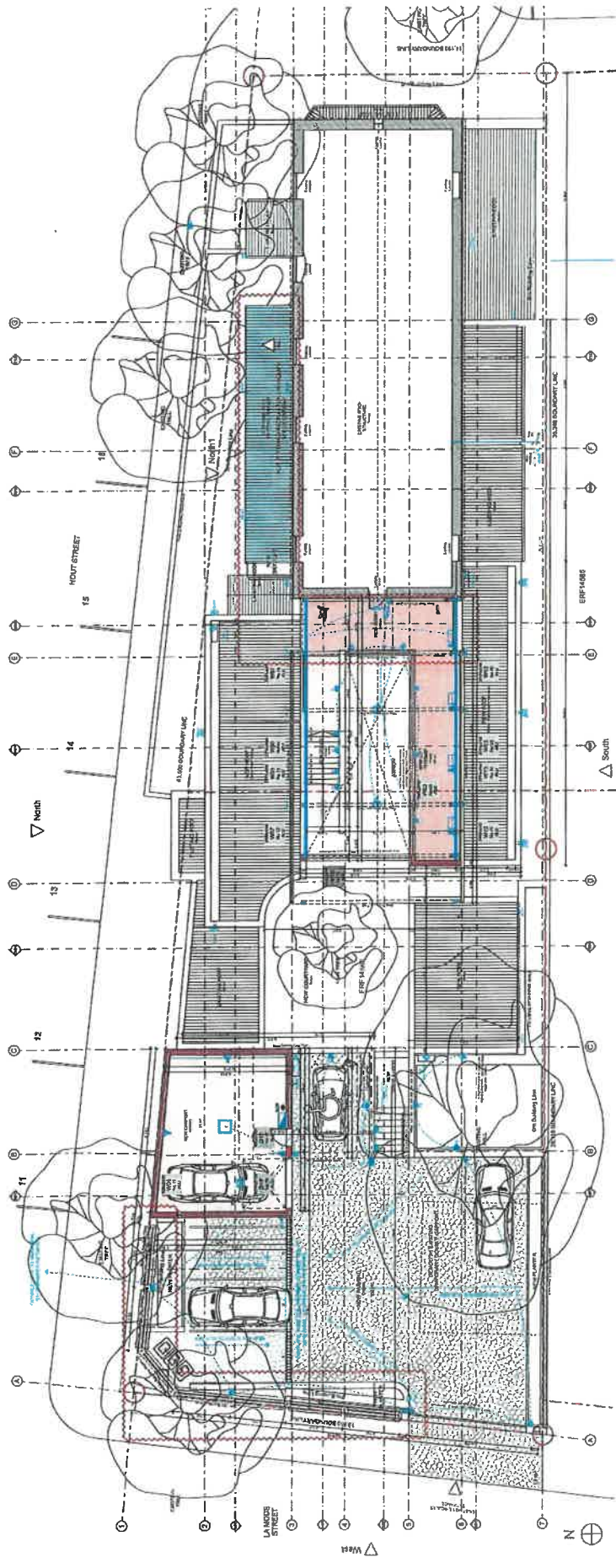


SITE & ROOF PLANS



MEZZANINE FLOOR PLAN AT 01/100

INTERNAL WALLS
 1. All internal walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 2. All internal walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 3. All internal walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 4. All internal walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 5. All internal walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 6. All internal walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 7. All internal walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 8. All internal walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 9. All internal walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 10. All internal walls are 100mm thick concrete blockwork with 100mm plaster on both sides.

EXTERNAL WALLS
 1. All external walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 2. All external walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 3. All external walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 4. All external walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 5. All external walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 6. All external walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 7. All external walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 8. All external walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 9. All external walls are 100mm thick concrete blockwork with 100mm plaster on both sides.
 10. All external walls are 100mm thick concrete blockwork with 100mm plaster on both sides.

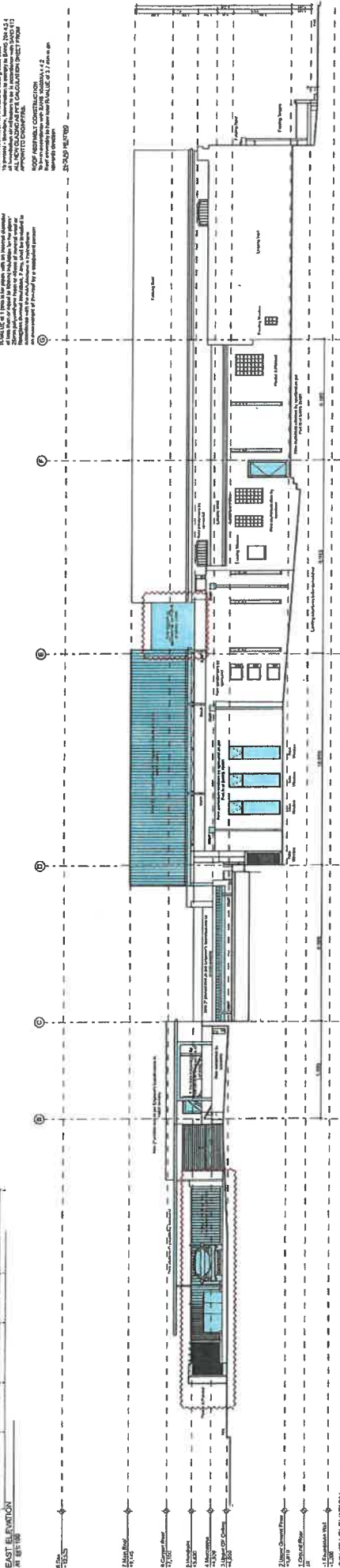
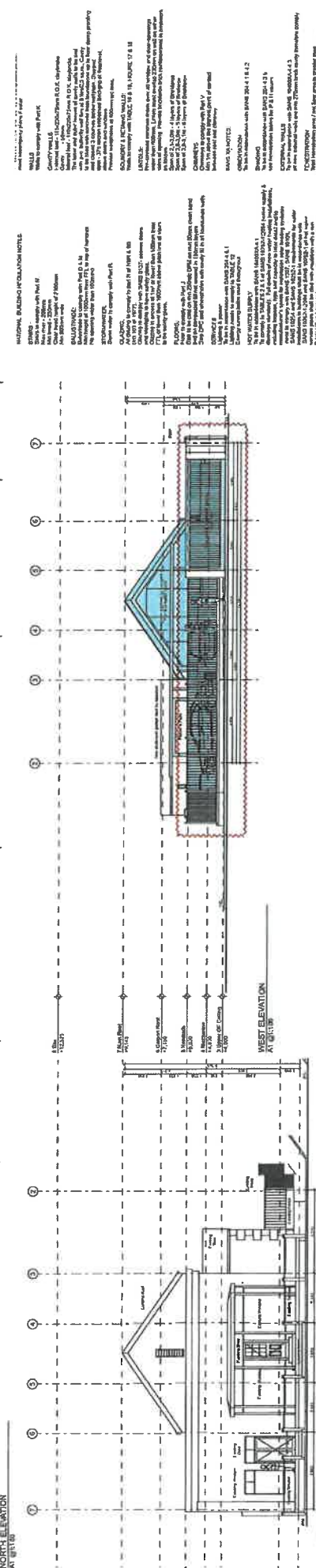
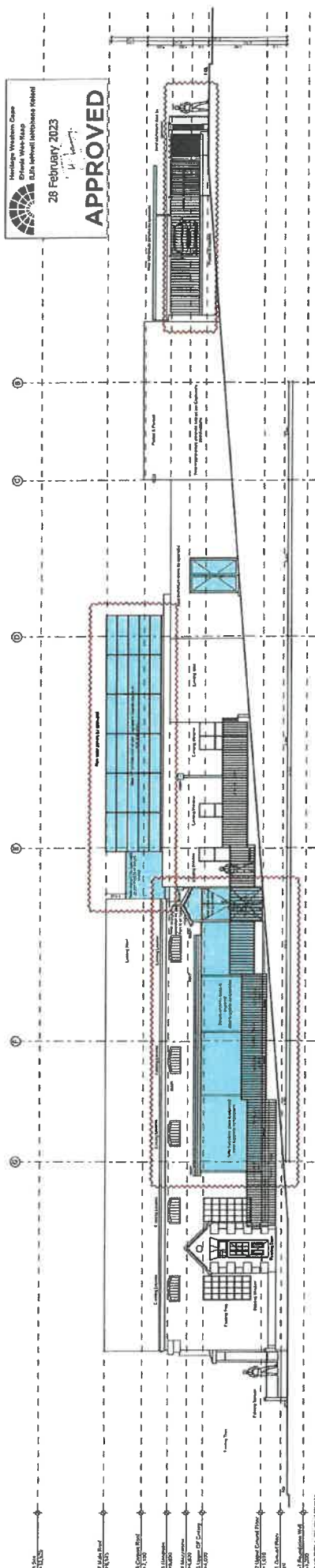
ROOF
 1. All roofs are 100mm thick concrete blockwork with 100mm plaster on both sides.
 2. All roofs are 100mm thick concrete blockwork with 100mm plaster on both sides.
 3. All roofs are 100mm thick concrete blockwork with 100mm plaster on both sides.
 4. All roofs are 100mm thick concrete blockwork with 100mm plaster on both sides.
 5. All roofs are 100mm thick concrete blockwork with 100mm plaster on both sides.
 6. All roofs are 100mm thick concrete blockwork with 100mm plaster on both sides.
 7. All roofs are 100mm thick concrete blockwork with 100mm plaster on both sides.
 8. All roofs are 100mm thick concrete blockwork with 100mm plaster on both sides.
 9. All roofs are 100mm thick concrete blockwork with 100mm plaster on both sides.
 10. All roofs are 100mm thick concrete blockwork with 100mm plaster on both sides.

FLOORING
 1. All floors are 100mm thick concrete blockwork with 100mm plaster on both sides.
 2. All floors are 100mm thick concrete blockwork with 100mm plaster on both sides.
 3. All floors are 100mm thick concrete blockwork with 100mm plaster on both sides.
 4. All floors are 100mm thick concrete blockwork with 100mm plaster on both sides.
 5. All floors are 100mm thick concrete blockwork with 100mm plaster on both sides.
 6. All floors are 100mm thick concrete blockwork with 100mm plaster on both sides.
 7. All floors are 100mm thick concrete blockwork with 100mm plaster on both sides.
 8. All floors are 100mm thick concrete blockwork with 100mm plaster on both sides.
 9. All floors are 100mm thick concrete blockwork with 100mm plaster on both sides.
 10. All floors are 100mm thick concrete blockwork with 100mm plaster on both sides.

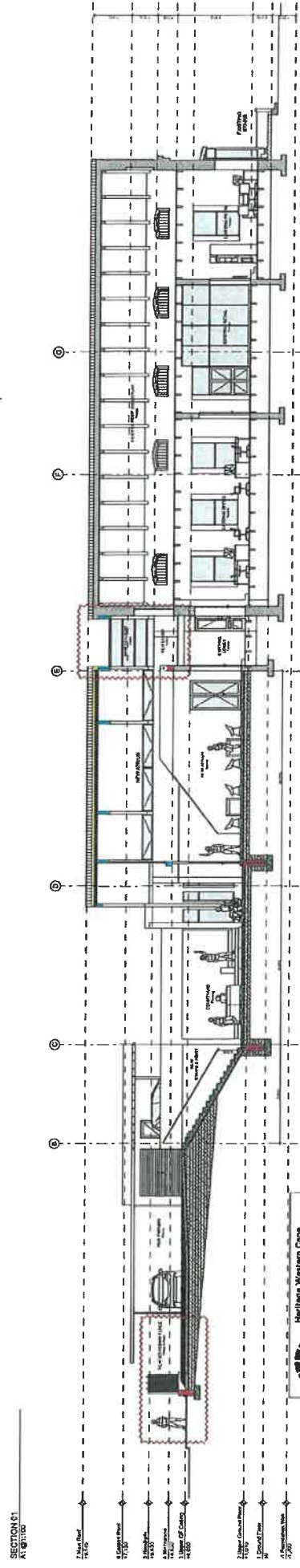
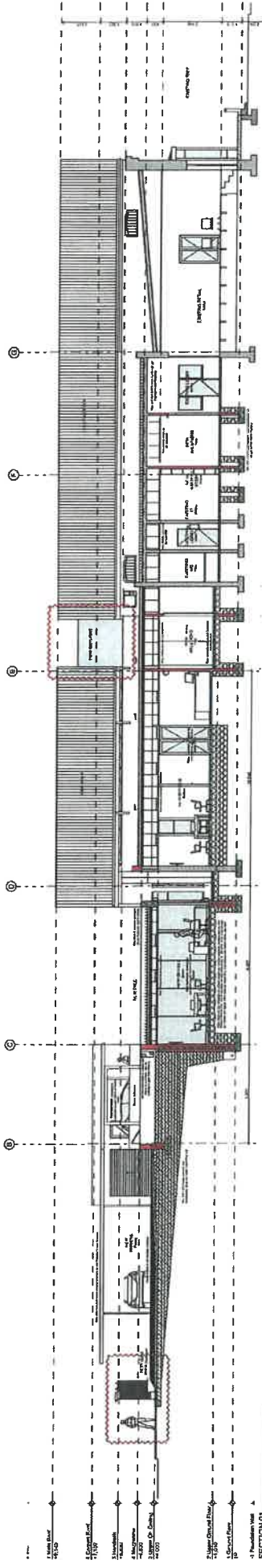
CEILING
 1. All ceilings are 100mm thick concrete blockwork with 100mm plaster on both sides.
 2. All ceilings are 100mm thick concrete blockwork with 100mm plaster on both sides.
 3. All ceilings are 100mm thick concrete blockwork with 100mm plaster on both sides.
 4. All ceilings are 100mm thick concrete blockwork with 100mm plaster on both sides.
 5. All ceilings are 100mm thick concrete blockwork with 100mm plaster on both sides.
 6. All ceilings are 100mm thick concrete blockwork with 100mm plaster on both sides.
 7. All ceilings are 100mm thick concrete blockwork with 100mm plaster on both sides.
 8. All ceilings are 100mm thick concrete blockwork with 100mm plaster on both sides.
 9. All ceilings are 100mm thick concrete blockwork with 100mm plaster on both sides.
 10. All ceilings are 100mm thick concrete blockwork with 100mm plaster on both sides.

MECHANICAL
 1. All mechanical systems are 100mm thick concrete blockwork with 100mm plaster on both sides.
 2. All mechanical systems are 100mm thick concrete blockwork with 100mm plaster on both sides.
 3. All mechanical systems are 100mm thick concrete blockwork with 100mm plaster on both sides.
 4. All mechanical systems are 100mm thick concrete blockwork with 100mm plaster on both sides.
 5. All mechanical systems are 100mm thick concrete blockwork with 100mm plaster on both sides.
 6. All mechanical systems are 100mm thick concrete blockwork with 100mm plaster on both sides.
 7. All mechanical systems are 100mm thick concrete blockwork with 100mm plaster on both sides.
 8. All mechanical systems are 100mm thick concrete blockwork with 100mm plaster on both sides.
 9. All mechanical systems are 100mm thick concrete blockwork with 100mm plaster on both sides.
 10. All mechanical systems are 100mm thick concrete blockwork with 100mm plaster on both sides.

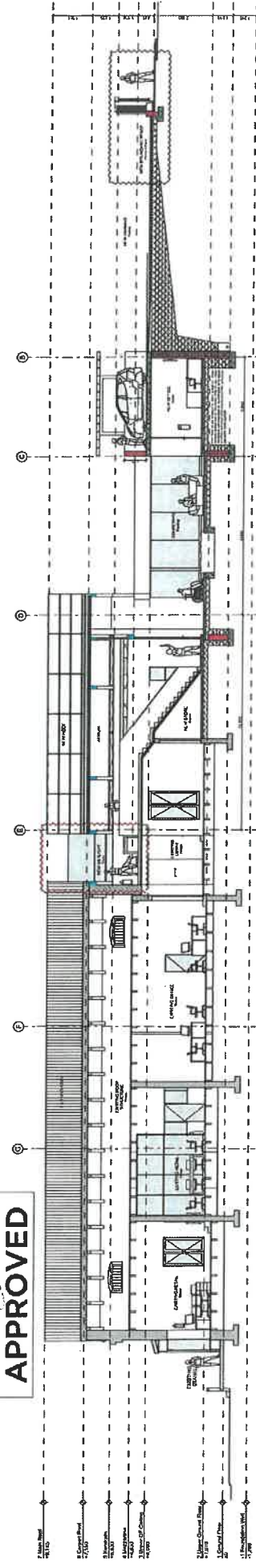
GENERAL NOTES
 1. All dimensions are in millimeters.
 2. All dimensions are in millimeters.
 3. All dimensions are in millimeters.
 4. All dimensions are in millimeters.
 5. All dimensions are in millimeters.
 6. All dimensions are in millimeters.
 7. All dimensions are in millimeters.
 8. All dimensions are in millimeters.
 9. All dimensions are in millimeters.
 10. All dimensions are in millimeters.



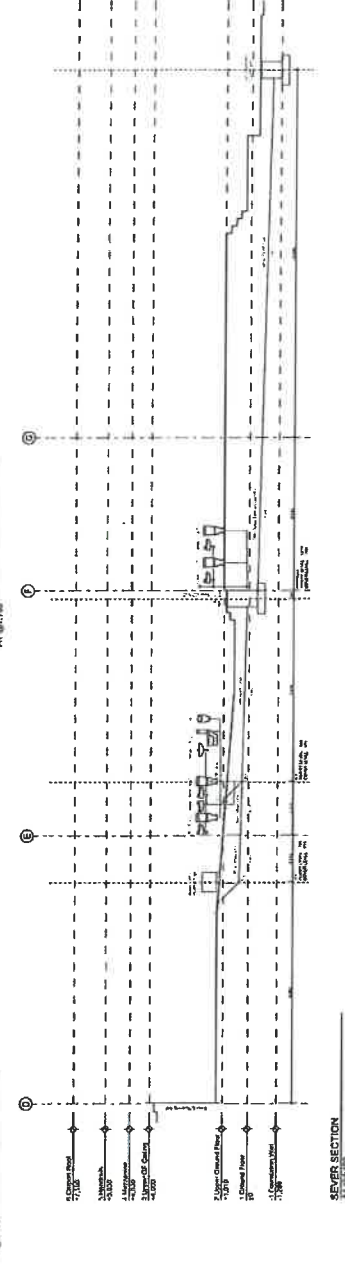
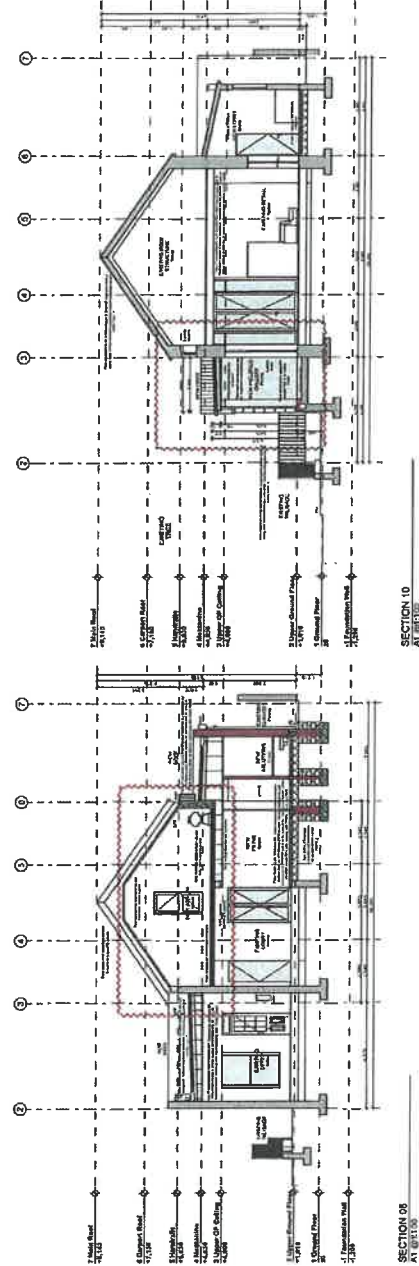
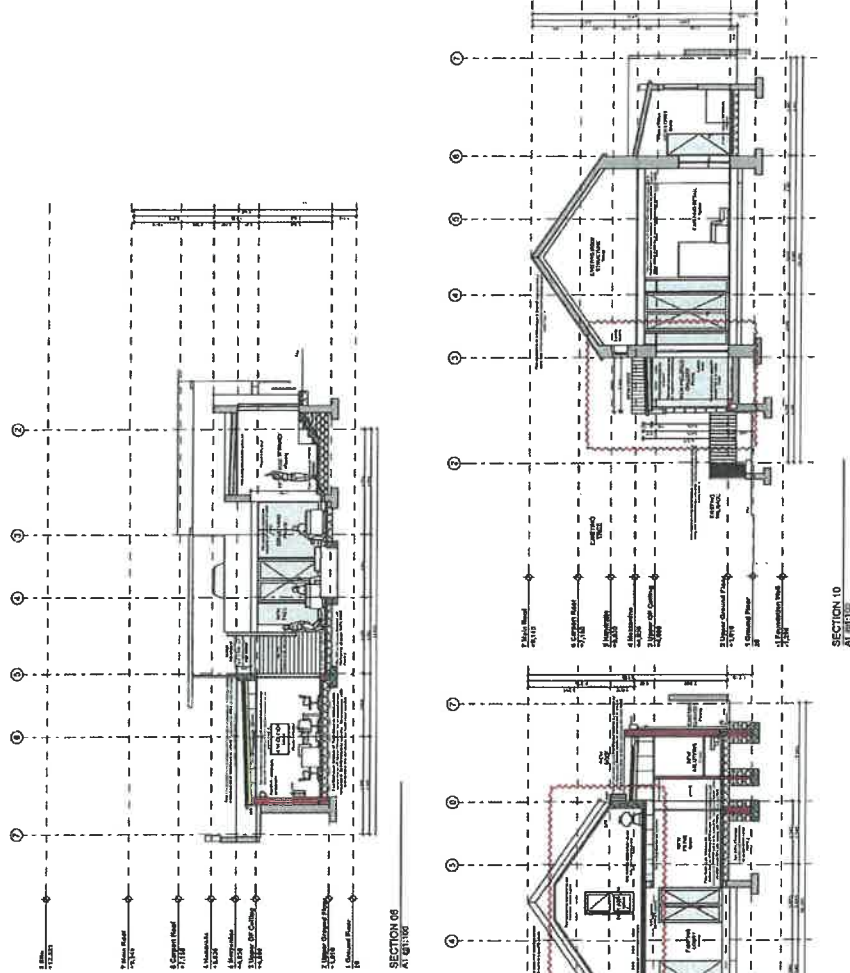
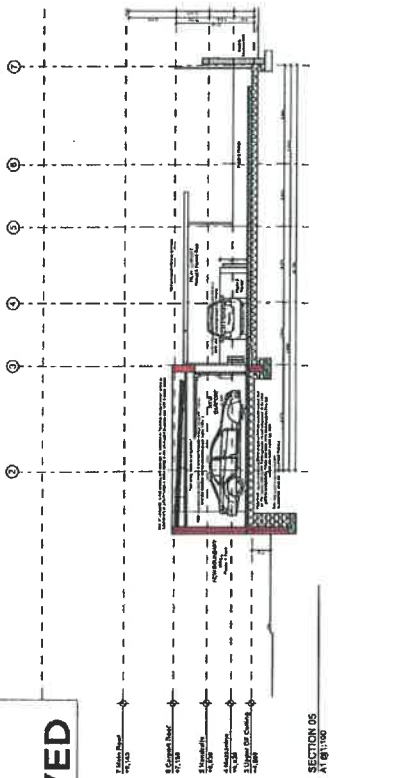
NOTES/REVISION		Description		Ref	Date	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	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Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	Ind.	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Heritage Western Cape
Ernst & Young
28 February 2023
APPROVED



Revised & Client Engineers Ernst & Young Pty Ltd P.O. Box 1000 Cape Town 8000	Approved Ernst & Young Pty Ltd P.O. Box 1000 Cape Town 8000	Approved Ernst & Young Pty Ltd P.O. Box 1000 Cape Town 8000	Approved Ernst & Young Pty Ltd P.O. Box 1000 Cape Town 8000	Approved Ernst & Young Pty Ltd P.O. Box 1000 Cape Town 8000	Approved Ernst & Young Pty Ltd P.O. Box 1000 Cape Town 8000	Approved Ernst & Young Pty Ltd P.O. Box 1000 Cape Town 8000	Approved Ernst & Young Pty Ltd P.O. Box 1000 Cape Town 8000	Approved Ernst & Young Pty Ltd P.O. Box 1000 Cape Town 8000
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GENERAL BUILDING INFORMATION

1. The building is a two-story structure with a gabled roof and a central chimney. The building is constructed of brick and has a concrete foundation. The building is located on a plot of land measuring 10m by 10m. The building is surrounded by a wall and has a gate. The building is in good condition and is suitable for use as a residence.

2. The building is a two-story structure with a gabled roof and a central chimney. The building is constructed of brick and has a concrete foundation. The building is located on a plot of land measuring 10m by 10m. The building is surrounded by a wall and has a gate. The building is in good condition and is suitable for use as a residence.

3. The building is a two-story structure with a gabled roof and a central chimney. The building is constructed of brick and has a concrete foundation. The building is located on a plot of land measuring 10m by 10m. The building is surrounded by a wall and has a gate. The building is in good condition and is suitable for use as a residence.

4. The building is a two-story structure with a gabled roof and a central chimney. The building is constructed of brick and has a concrete foundation. The building is located on a plot of land measuring 10m by 10m. The building is surrounded by a wall and has a gate. The building is in good condition and is suitable for use as a residence.

5. The building is a two-story structure with a gabled roof and a central chimney. The building is constructed of brick and has a concrete foundation. The building is located on a plot of land measuring 10m by 10m. The building is surrounded by a wall and has a gate. The building is in good condition and is suitable for use as a residence.

6. The building is a two-story structure with a gabled roof and a central chimney. The building is constructed of brick and has a concrete foundation. The building is located on a plot of land measuring 10m by 10m. The building is surrounded by a wall and has a gate. The building is in good condition and is suitable for use as a residence.

7. The building is a two-story structure with a gabled roof and a central chimney. The building is constructed of brick and has a concrete foundation. The building is located on a plot of land measuring 10m by 10m. The building is surrounded by a wall and has a gate. The building is in good condition and is suitable for use as a residence.

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Rev	Date	Description
1	2023-02-28	Initial Design
2	2023-02-28	Revised Design
3	2023-02-28	Final Design
4	2023-02-28	Construction Documents
5	2023-02-28	As-Built Documents

Author	Erwitte Wier-Kaap
Designer	Erwitte Wier-Kaap
Checker	Erwitte Wier-Kaap
Approver	Erwitte Wier-Kaap

Project No.	19191
Client	Erwitte Wier-Kaap
Date	2023-02-28
Sheet No.	2/3101
Sheet Title	Section 05
Sheet Size	A1

Engineer's Seal	Erwitte Wier-Kaap
Engineer's Name	Erwitte Wier-Kaap
Engineer's Registration No.	Erwitte Wier-Kaap
Engineer's Address	Erwitte Wier-Kaap
Engineer's Phone	Erwitte Wier-Kaap
Engineer's Email	Erwitte Wier-Kaap



Memo

To: EXECUTIVE DIRECTOR: CORPORATE & PLANNING SERVICE
(ATTENTION: J. DANIELS)

From: EXECUTIVE DIRECTOR: ENGINEERING SERVICES

Enquiries: LH. SMITH

Collaborator number: 2213129

Reference number: 15/4/1 (14563) P (316)

Date: 05 March 2025

Subject: APPLICATION FOR REZONING: ERF 14563, PAARL.

These conditions will be subject to review by the Engineering Services Department upon receipt of Civil and/or building plans for approval. This may require all the studies carried out for the proposed development to be updated and revised accordingly, which shall include compliance with the latest legislation, amended legislation, latest or amended standards and revised master planning.

The aforementioned is based on the possibility of changes in the physical environment in respect of engineering infrastructure between date of issuing of conditions and actual building/construction being imminent, which may impact on available relevant infrastructure capacities as at time of initial issuing of conditions.

NOTE: This comment covers a number of disciplines and each section needs to be dealt with by a competent specialist in that field co-ordinated by the consultant managing the application. No correspondence will be entered into with individual consultants.

THE FOLLOWING CONDITIONS WILL APPLY

1 STREETS & TRAFFIC

- 1.1 Any new roads/streets and accesses will be the responsibility of the developer, including all internal and bulk connectors; and
- 1.2 Any alterations to the existing road network will be the responsibility of the developer which includes design, approval and construction of any additional traffic control and or traffic calming measures.

2 STORM WATER

- 2.1 Any new storm water networks will be the responsibility of the developer, including all internal and bulk connectors;

2.2 Prior to the approval of any building or civil engineering plan, a detailed Stormwater Management Plan (SWMP) must be approved by this department;

2.3 Only pre-development run-off of a 1:2 year storm event will be accepted into the existing system. Provision must be made to accommodate the detention of run-off for a 1:50 year storm event; and

2.4 Provision must be made for an effective rainwater harvesting system to be planned and designed for all roof water. The volume of the storage facilities should be based on 0.02m³/m² roof area.

3 WATER

3.1 The existing water connection is to be retained, and all the metered connections must be installed one meter inside the erf boundary;

3.2 Water saving devices shall be installed in toilets, bathrooms and basins;

3.3 A water demand management plan must be submitted to the Civil Engineering Department and must include and indicate the measures to be put in place to conserve and manage water; and

3.4 Any existing system that is to remain shall be upgraded to minimum municipal standards.

4 WASTEWATER SERVICES

4.1 The existing wastewater connection is to be retained and the connection manhole must be installed one meter inside the erf boundary; and

4.2 Any existing system that is to remain shall be upgraded to minimum municipal standards.

5 SOLID WASTE

5.1 The Municipality undertakes, after the proclamation of the development, to remove household refuse in accordance with its by-laws and shall make its own arrangements with the occupants of the development for the removal of such household refuse;

5.2 A waste recovery/recycling initiative has been implemented in Drakenstein and the development will have to be prepared to comply with any requirements as the project is rolled out;

5.7 Municipal refuse trucks will not enter the development to collect wheelie bins on collection days and waste removal will be a kerb side service;

6 DEVELOPMENT CHARGES

- 6.1 Based on the information provided in the application, Development Charges are payable by the developer. Development Charges will be calculated when a more detailed SDP is submitted; and
- 6.2 Note that the Development Charge calculated will only be applicable to the approved SDP provided in the application. If the developer wishes to increase the Gross Leasable Area of the development in future, resulting in an additional impact on engineering services, this department will investigate whether the developer is liable for the payment of Development Charges within the given legislative and policy frameworks;

7 GENERAL

- 7.1 *Depending on the scale of expansion in future, additional Civil Engineering Specialist Reports may be requested by this department when the developer wishes to increase the GLA;*
- 7.2 *When at any stage in future the municipality is required to take over ownership and maintenance of civil infrastructure, it will be the responsibility of the property owners to ensure all water and waste water connections adhere to municipal standards and by-laws;*
- 7.3 The developer is responsible for the payment of a Developers Charge (water, sewer, stormwater, solid waste and roads) which can be discounted against the bulk service cost needed for the development;
- 7.4 The developer is responsible for the funding of all connections to the bulk services and all internal works;
- 7.5 All of the works, including but not limited to; roads, stormwater, water, sewers, landscaping, irrigation, etc. shall be designed by a suitably registered (ECSA registration for the civil works and SACLAP registration for the landscaping) person and any such works shall be constructed under supervision of such registered person. All such design plans shall be submitted to the Civil Engineering Services Department of Drakenstein Municipality for approval prior to the commencement of construction;
- 7.6 All works where applicable shall be constructed to at least the minimum standards as set out in, Engineering Services: Municipal Standards;
- 7.7 The above conditions are to be complied with in stages.
 - 7.7.1 Requirements associated with the preparation of plans, drawings, permits, agreements and approvals, shall be complied with prior to construction;
 - 7.7.2 Requirements associated with the completion of construction, development charges, as-built drawings, maintenance management plans, agreements, etc. These will be

complied with prior to the transfer of any subdivided erf within the development property or occupation of any property/building in the phase; and

- 7.7.3 Proof of compliance for the requirements associated with long term operations must be available on request.

GPM 

LH Smith

SENIOR MANAGER: INFRASTRUCTURE MANAGEMENT

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LHS/lis

Memo

To:	Senior Manager: Land Development Management For attention: H Strijdom/C van der Bank/E Cyster
From:	Manager: Planning and Customer Services
Enquiries:	L Laing
Reference number:	8/2/5_14563
Date:	19 January 2025
Subject:	PROPOSED REZONING, ERF 14563, PAARL

Time Limit on Conditions: These conditions will be limited to a period of one (1) year from the date as on the covering memo from this department. After this period a re-application must be submitted for approval by this department.

1. INFORMATION REQUIRED/OUTSTANDING

1.1. None.

2. THE FOLLOWING CONDITIONS WILL APPLY

- 2.1. Only one service cable connection per erf is allowed.
- 2.2. No trees or any type of structures may be erected under or near any new or existing electrical infrastructure.
- 2.3. All electrical equipment shall comply with Drakenstein Municipality standards and have twenty-four-hour access for maintenance purposes.
- 2.4. The developer will be responsible for all cost in the case where he or she request any infrastructure situated in the road reserve to be moved or relocated to new proposed positions.
- 2.5. The developer is required to include measures to improve energy efficiency for any additional load requirement to the existing electrical supply.
- 2.6. It may be requested to register service servitudes where existing and or new infrastructure will or have been installed.
- 2.7. A service level agreement between the municipality and the owner or developer of above-mentioned erf must be arrange at Electro-Technical Service Department (Planning and Design division - Chief Engineering Technician) for any additional load requirement.

3. GENERAL

- 3.1. NRS069 Network recovery cost will apply for any additional load requirement and will be calculated according to the following as indicated in approved tariffs: **R4 687.00 per kVA (V.A.T. included)**. The cost as mentioned above is valid until 30 June 2025 and will escalate thereafter for each upcoming financial year which is between 1 July and 30 June.
- 3.2. The developer will be responsible to carry all cost of the electrical installation.
- 3.3. All upgrade and service costs must be paid at the finance section in cash before any service connection may be rendered.
- 3.4. A private registered engineering consultant and electrical installation electrician shall be used to do all designs, installations and alterations according to SANS 10142, Occupational Health and Safety Act (Act 85 of 1993) and Drakenstein Municipal by-laws prior to the development.
- 3.5. A certificate of compliance and occupational certificate must be handed over to the Electro-Technical Services Department (Service section) on the day the service is rendered or as the case may be.
- 3.6. The Manager: Planning and Customer Services with reference to the services and conditions has no objection to this application.

Yours faithfully



L LAING

MANAGER: PLANNING AND CUSTOMER SERVICES

I:BEPLAN_3\Sub_Divisions_Rezoning\202425\14563

Memo

To:	MANAGER: LAND USE PLANNING & SURVEYING (ATTENTION: J. DANIELS)
From:	MANAGER: ENVIRONMENTAL MANAGEMENT
Enquiries:	S REECE
Collaborator number:	2218875
Reference number:	15/4/1(14563)P
/Date:	20 NOVEMBER 2024
Subject:	APPLICATION FOR REZONING: ERF 14563, PAARL

Reference is made to the above-mentioned application for the following:

- I. Rezoning of the western portion of Erf 14563 Paarl from Multi-Unit Housing Zone to Mixed-Use Zone to correspond to the eastern portion of the subject property and to facilitate new offices thereon.
- II. Departure of the southern building line with Erf 20733 Paarl from 4.5m to 0m to facilitate the new proposed extensions of the building.
- III. To permit development within the Paarl Centre Special Character Protected Area Overlay Zone to facilitate the proposed development on Erf 14563 Paarl.

The Environmental Management Section has no objection to the proposed application on condition that the Mixed-Use Zone on the eastern portion of the subject property is utilized for offices. Should this change in future to include any land use that may be a source of noise to the residential area such as a restaurant, bar or place of late-night entertainment, the Environmental Management Section may request a Noise Impact Assessment in accordance with SANS 10328.



C. WINTER
MANAGER: ENVIRONMENTAL MANAGEMENT