



Enquiries: Cornelia vd Bank
Contact number: 021 807 4832
Reference: (15/4/1 –3432) P
Date: 06 August 2025

Cvd Bank/HK

Iana Jordaan
FRAME
277 Main Road
PAARL
7620

Email: iana.jordaan@framegroup.co.za

Madam

APPLICATION FOR THE REZONING, PERMANENT DEPARTURE AND APPROVAL OF A SITE DEVELOPMENT PLAN FOR ERF 3432 PAARL

I refer to your land use application (collaborator reference 2255828).

1. Provisional approval is hereby granted in terms of Section 60(1)(a) of the Bylaw on Municipal Land Use Planning, 2018, for the following:
 - 1.1 The **Rezoning** of Erf 3432 Paarl from “Conventional Housing Zone” to “Neighbourhood Business Zone” to allow the existing buildings to be used for offices.
 - 1.2 The **Permanent Departure** of the common boundary line restrictions as indicated on the Site Development Plan, drawn by Arch on Main, (Drawing No 4172-00 dated 6 May 2025) (**Annexure B**).
2. That permission be granted in terms of Section 17 of the Zoning Bylaw 2018, for:
 - 2.1 The provision of on-site parking within 10m of the street boundary.
 - 2.2 The re-development of the existing building for offices within the Paarl Central Special Character Protected Area Overlay Zone.
 - 2.3 The re-development of property affected by the Road Widening Overlay Zone along Main Road.

3. The approvals granted in above mentioned paragraphs shall be subject to the following conditions, laid down in terms of Section 66 of the Drakenstein Bylaw on Municipal Land Use Planning, 2018:
 - 3.1 Adherence to the conditions laid down by the Drakenstein Municipality: Civil Engineering Services Division in its memorandum 15/4/1(3432)P(0980) dated 31 July 2025(**Annexure D**).
 - 3.2 Adherence to the conditions laid down by the Drakenstein Municipality: Electro Technical Services Division in its memorandum dated 11 March 2024 (**Annexure E**).
 - 3.3 Adherence to the conditions as set by Land Development Management:
 - 3.3.1 The development shall take place in accordance with the Site Development Plan (**Annexure B**).
 - 3.3.2 The applicant shall be responsible for the submission of any signage to the Drakenstein Heritage Advisory Committee for comments prior to it being displayed along Main Road.
 - 3.3.3 No buildings or structures may be erected, or existing structures altered, without the approval of building plans by Council; and
 - 3.3.4 Should the applicant fail to comply with the any of the above-mentioned conditions of approval, the Council reserves the right to impose further conditions in future if deemed necessary.
4. That the following be regarded as the reasons for the decision:
 - 4.1 The application was administrated in terms of the Drakenstein Municipal Land Use Planning Bylaw, 2018 and notification was given to the surrounding property owners and residents of the estate as prescribed in terms of the mentioned legislation, to submit comments or objections.
 - 4.2 The proposed rezoning to “Neighbourhood Business” for offices will not have a negative impact on the amenity of the surrounding area.
 - 4.3 The existing historic building has been vacant and neglected for several years and requires significant maintenance and repair.
 - 4.4 The existing historic buildings will be internally reconfigured for office purposes subject to approval from Heritage Western Cape.
 - 4.5 The application was circulated to various internal and external departments for comment and consideration. No objections to the proposed subdivision were received.

- 4.6 The Civil Engineering Services Departments scrutinized the detail of supporting engineering studies for the application from roads and stormwater, potable water, wastewater and refuse removal point of view and concluded that there is sufficient capacity in the said municipal infrastructure to accommodate the proposed development.
- 4.7 The proposal conforms to the Spatial Planning Principles, SDF, and policies for the area.

Your attention is drawn to the general right of appeal to the Executive Mayor being the Appeal Authority in terms of Section 79(3) of the Drakenstein Bylaw on Municipal Land Use Planning, 2018, by any person whose rights are affected by the decision, within **21 days** of notification of decision.

The applicant shall be required to notify (**by email or per hand**) the **surrounding property owners** who were notified of the application during the initial public participation process and **objectors**, of their right of appeal – proof of notification **must** be provided.

Should there be any appeals against the decision, **the application title (heading)** must be used as reference. The appeal procedures are set out in Section 80 of the above-mentioned bylaw (attached).

Your attention is drawn to the fact that all correspondence must be directed to the City Manager and also sent via our official email address.

Yours faithfully



H. G. STRIJDOM (PR. PLN A/1058/1998)
MANAGER: LAND DEVELOPMENT MANAGEMENT



SITE AND FLOOR PLAN
SCALE 1: 100

GENERAL NOTES:

ALL MATERIALS AND CONSTRUCTION MUST COMPLY WITH THE NATIONAL BUILDING REGULATIONS (ACT NO 103 OF 1977) INCLUDING ALL AMENDMENTS AS WELL AS THE BY-LAWS OF THE LOCAL AUTHORITIES.

ALL DIMENSIONS TO BE CHECKED ON SITE AND DRAWINGS MUST NOT BE SCALED.

ANY INDISTINCTNESS OR DISCREPANCIES MUST IMMEDIATELY BE POINTED OUT TO THE ARCHITECT FOR RECTIFICATION OR EXPLANATION BEFORE ANY CONSTRUCTION CAN COMMENCE.

GLAZING TO COMPLY WITH NBR PART N GEYSER TO COMPLY WITH SANS 0254 WOOD TO COMPLY WITH SANS 0163

LEVELS AND STEPS TO BE DETERMINED ON SITE BY CONTRACTOR. TO BE APPROVED BY CLIENT AND ARCHITECT.

WHERE DRAINAGE OCCURS UNDER ANY PART OF A BUILDING. FOUNDATIONS MUST BE REINFORCED ACCORDING TO ENGINEER'S SPEC AND TO NBR REGULATIONS.

1. GENERAL PRINCIPLES & REQUIREMENTS TO COMPLY WITH: SANS 10400-A
2. STRUCTURAL DESIGN TO COMPLY WITH: SANS 10400-B
3. DIMENSIONS TO COMPLY WITH: SANS 10400-C
4. PUBLIC SAFETY TO COMPLY WITH: SANS 10400-D
5. SITE OPERATIONS TO COMPLY WITH: SANS 10400-E
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7. FOUNDATIONS TO COMPLY WITH: SANS 10400-G
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15. NON-WATER-BORNE MEANS OF SANITARY DISPOSAL TO COMPLY WITH: SANS 10400-O
16. STORMWATER DISPOSAL TO COMPLY WITH: SANS 10400-P
17. FACILITIES FOR PERSONS WITH DISABILITIES TO COMPLY WITH: SANS 10400-Q
18. FIRE PROTECTION TO COMPLY WITH: SANS 10400-R
19. SPACE HEATING TO COMPLY WITH: SANS 10400-S
20. FIRE INSTALLATION TO COMPLY WITH: SANS 10400-T
21. ENERGY USAGE IN BUILDINGS TO COMPLY WITH: SANS 10400-U

BUILDING CLASSIFICATION: G1 - OFFICES

DESIGN POPULATION: 30 PERSONS

PARKING RATIO: 4/100m² THEREFORE 8 PARKING SPOTS REQUIRED. 10 PARKING SPOTS PROVIDED- COMPLIES

GROSS LEASABLE AREA (GLA): 197.98m²

AREA SCHEDULE
Erf size: 2015.6m²
Total Existing Built Area: 590m²
Proposed Built Area: 590m²

EXISTING TOTAL FLOOR AREA: 590m²
Main Building: 320m²
Covered Veranda: 70m²
Garage: 65m²
Staff Dining and Entertainment Area/Rec room: 92m²
Covered Patio: 43m²

EXISTING COVERAGE CALCULATION
Coverage 29.27%

Professional: Nikita van Zyl
Registration Number: PSAT 247 512 65
Signature: *N. van Zyl*

COUNCIL DRAWINGS

No.	Revisions	Date
02	Issued for MUNICIPAL approval	08/04/2025
01	Issued for MUNICIPAL approval	18/03/2025



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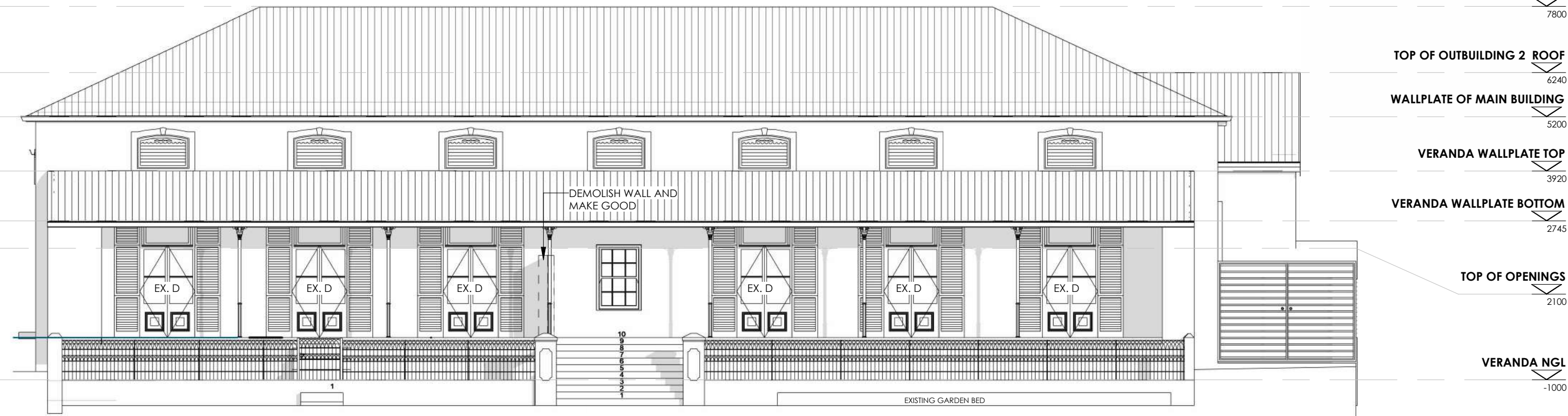
Client
FRUITWORKS

Project
ALTERATIONS AND ADDITIONS TO EXISTING STRUCTURE, ERF 3432, 58 MAIN RD, PAARL

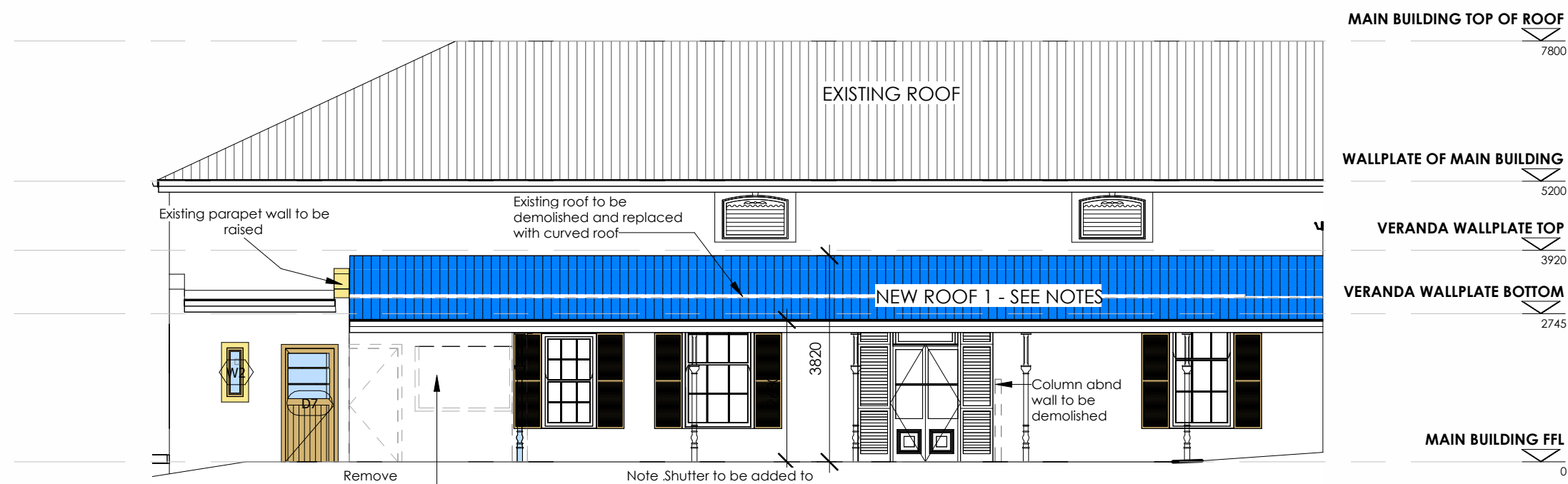
Drawing title	Scale on A1	As indicated
SITE AND FLOOR PLAN	Date	06/05/2025

Drawing no.	Revision	Drawn	Checked
4172- 00	01	WAF	WAF/INVZ

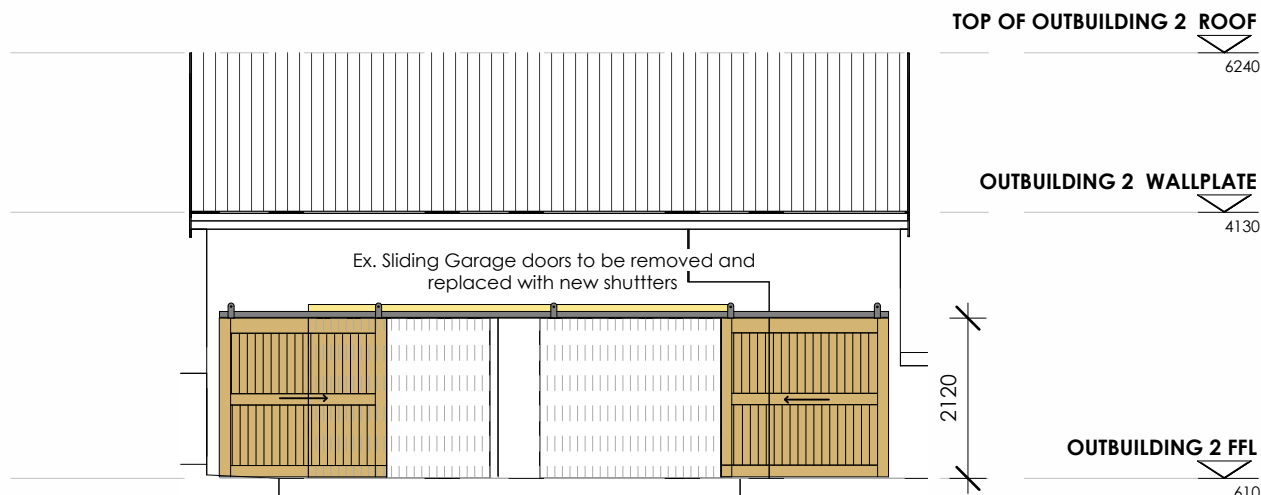
GROSS LEASABLE AREA (GLA):	197.98m ²
Office 2	12.89m ²
Board Room	22.41m ²
Reception 2	23.07m ²
Open Work Area	65.90m ²
Office 1	26.52m ²
Reception 1	14.25m ²
Finance	14.20m ²
Rec room	18.74m ²
Total gross Leasable Area:	197.98m ²



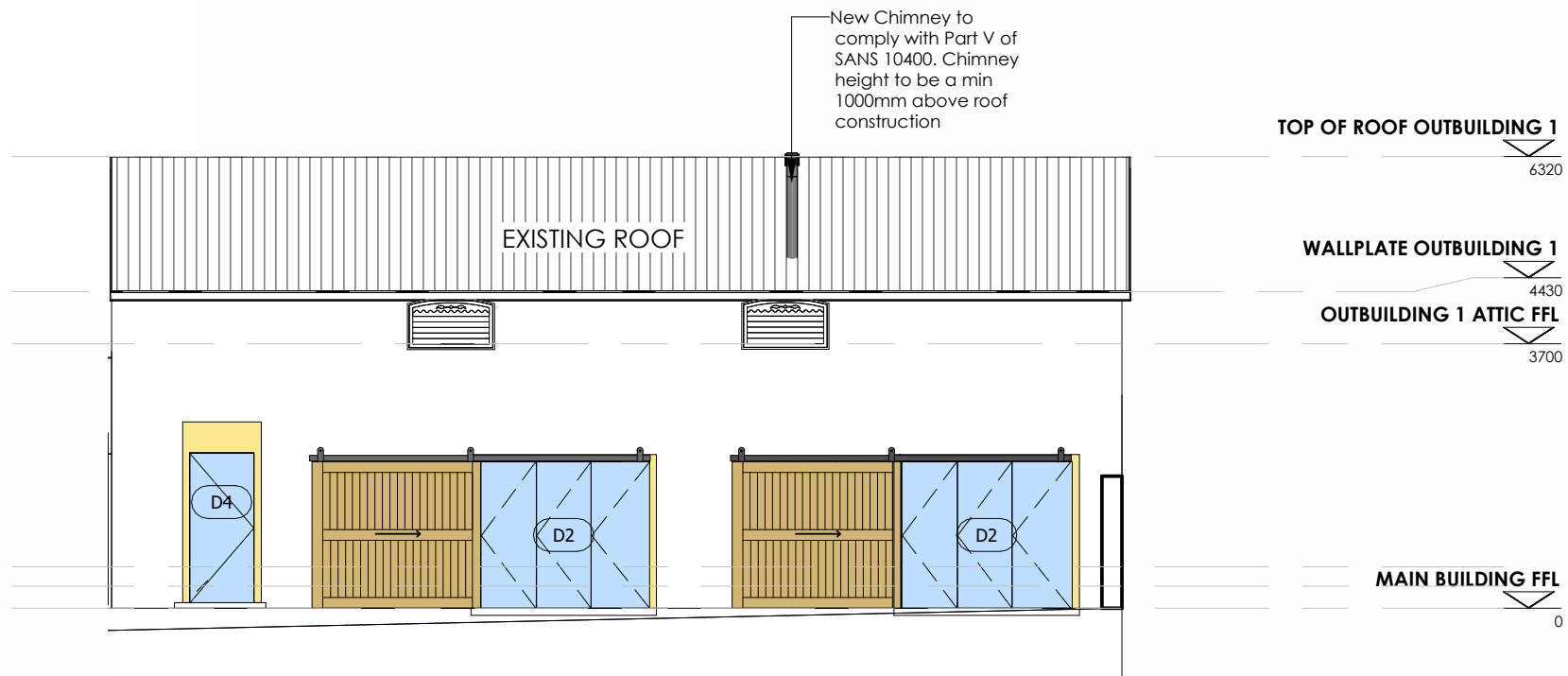
EAST ELEVATION OF MAIN BUILDING
SCALE 1: 100



WEST ELEVATION OF MAIN BUILDING
SCALE 1: 100



WEST ELEVATION OF OUTBUILDING 2
SCALE 1: 100



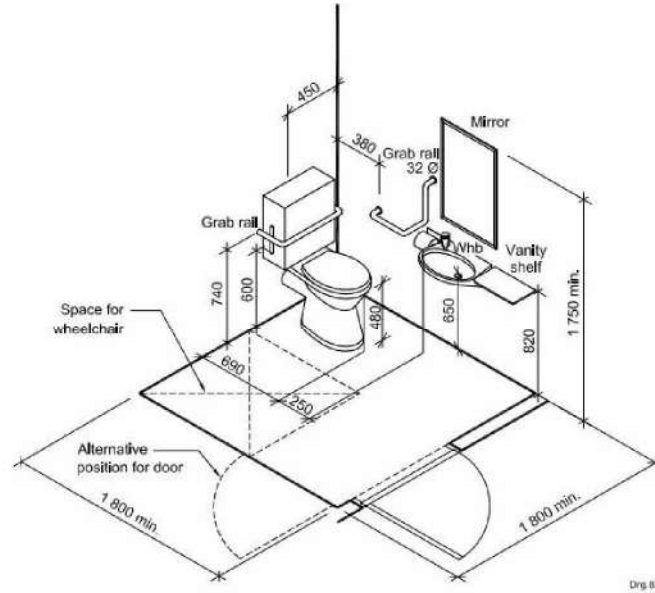
SOUTH ELEVATION OF OUTBUILDING 1
SCALE 1: 100

PROPOSED WINDOW SCHEDULE	EXISTING WINDOW SIZES TO BE CONFIRMED ON SITE BEFORE INSTALLATION OF NEW SHUTTERS					
	W1	W2	W3	W4	W5	W6
WINDOW No.	W1	W2	W3	W4	W5	W6
DESCRIPTION	TIMBER SASH WINDOW WITH FIXED PANES TIMBER TO MATCH EXISTING	TIMBER SIDE HUNG WINDOW TIMBER TO MATCH EXISTING	TIMBER SHUTTERS FOR EXISTING WINDOWS SHUTTERS TO MATCH EXISTING IN DESIGN AND COLOUR	TIMBER SHUTTERS FOR EXISTING WINDOWS SHUTTERS TO MATCH EXISTING IN DESIGN AND COLOUR	TIMBER SHUTTERS FOR EXISTING WINDOWS SHUTTERS TO MATCH EXISTING IN DESIGN AND COLOUR	TIMBER SHUTTERS FOR EXISTING WINDOWS SHUTTERS TO MATCH EXISTING IN DESIGN AND COLOUR
GLAZING	TO SANS 204A & 10400 XA REGULATIONS	TO SANS 204A & 10400 XA REGULATIONS	N/A	N/A	N/A	N/A
No. REQUIRED	1	3	1	1	1	1
TOTAL GLAZED AREA PER UNIT	0.4m ²	0.2m ²	N/A	N/A	N/A	N/A

Existing window sizes to be confirmed on site before installation of new shutters

PROPOSED DOOR SCHEDULE	EXISTING WINDOW SIZES TO BE CONFIRMED ON SITE BEFORE INSTALLATION OF NEW SHUTTERS							
	D1	D2	D3	D4	D5	D6	D7	D8
DOOR No.	D1	D2	D3	D4	D5	D6	D7	D8
DESCRIPTION	EXTERIOR ENTRANCE SOLID TIMBER DOOR TIMBER TO BE MATCH EXISTING	FRAMELESS EXTERIOR STACKING TO BE 8mm TEMPERED SAFETY GLAZING AND BARN STYLE TRACK SYSTEM BY SPECIALIST	BARN STYLE TRACK SYSTEM BY SPECIALIST	FRAMELESS DOOR TO BE 8mm TEMPERED SAFETY GLAZING BY SPECIALIST	EXTERIOR ENTRANCE DOUBLE GATE WITH ALUMINUM FRAME AND TIMBER SLATS ALUMINUM TO BE POWDER COATED CHARCOAL/TIMBER TO BE WHITE	FRAMELESS DOOR TO BE 8mm TEMPERED SAFETY GLAZING BY SPECIALIST AND FIXED GLASS PANES	SOLID EXTERIOR TIMBER DOOR TO MATCH EXISTING	TIMBER SHUTTERS FOR EXISTING WINDOWS SHUTTERS TO MATCH EXISTING IN DESIGN AND COLOUR
GLAZING	N/A	TO SANS 204A & 10400 XA REGS	N/A	TO SANS 204A & 10400 XA REGS	N/A	TO SANS 204A & 10400 XA REGS	TO SANS 204A & 10400 XA REGS	N/A
No. REQUIRED	1	2	1	3	1	1	1	1
TOTAL GLAZED AREA PER UNIT	N/A	3.2m ²	N/A	2.15m ²	N/A	3.7m ²	0.6m ²	N/A

SANITARY FIXTURES		
	REQUIRED	PROVIDED
MALE		
Toilet pans	1	2
Urinals	2	1
Wash-hand basins	2	2
FEMALE		
Toilet pans	3	3
Wash-hand basins	2	2



BATHROOM DETAIL
NTS

GENERAL NOTES:

FILLING MATERIAL:
Filling materials under floor slabs to consist of suitable material and to be compacted in layers of max. 150mm thick, to be a density of at least 90%MOD AASHTO

FOUNDATIONS:
Concrete in 1:3:6 mix to sizes as shown on drawings. Cement to be SABS EN 197-1 strength class 32.5 and aggregate to SABS specification 1083. Continuous strip foundation to be minimum 250mm thick, unless laid on solid rock and min 750mm wide to load bearing or free standing walls or 400mm wide for non-loadbearing internal masonry walls.

FLOORS:
Floor finish as described elsewhere on 30mm 3:1 sand/cement screed on 100mm 1:2:4 concrete slab on 250micron membrane on consolidated fill for groundfloor. Floorboards to be reinforced with BRC.245 weldmesh where depth of fill exceeds 1m. No ground floor slab to pass over or to be supported on foundation walls.

FLOOR DAMP PROOFING:
Under floor membrane to be Guplus 250 micron membrane on 50mm sand blinding layer to be laid on surface not containing sharp objects and to be turned up around perimeter of and at least for full thickness of slab. Any joints will overlap 150mm min and will be effectively sealed.

WALLS:
All bricks to comply with SABS 227. External walls to be 280mm cavity walls with plastered and painted bricks where indicated. Internal walls to be 115/230mm walls with plastered and painted bricks. Exterior walls to be painted white.

WALL DAMP PROOFING:
Guplus 375 micron to oil walls stepped to outer skin of wall when a cavity wall. Whereholes every 3rd brick. Vertical DPC to door, window cills and heads. No DPC to free standing walls.

PLASTER:
Internal and external walls to receive smooth plaster finish.

BRICK TIES:
Galvanized butterfly type every 4th course staggered at 1m c/c

PRECAST UNITS:
STRESSO lintels over all openings exceeding 1.5m with damp proof membrane stepped over. Openings of more than 3.5m to be engineer's designed.

BRICK REINFORCEMENT:
Use galvanized brick force in first 5 courses above foundation and 5 courses continuous above lintel height.

ROOF SHEETING TO ENTIRE ROOF AREA:
Saflok 0.50mm thick Saflok 4108 Coloplus® AZ 150 interlocking roof sheeting fixed to steel internal purlins at 1700mm centres, and ridge/leaves purlins at 1500mm centres using Saflok 4108 clips that must be fastened with Saflok approved wolver head self-tapping screws, all in accordance with manufacturer's recommendations. The sheeting will be a double interlocking concealed fix Saflok 4108 as manufactured by Saflok, roll-formed in continuous lengths from Aluminium or Aluminium-Zinc coated steel. Colour to be dark charcoal.

Roof 1: (Curved roof)
0.8 Corrugated Roof sheeting by Saflok or similar and approved to be curved matching front veranda to be supported by 75x 228 SA Pine rafter anchored to existing steel columns.

Roof Anchor:
Trusses to be anchored min 760mm deep by 30 x 1.2 mm galvanized steel strap

Ridge & side flashing to match colour of roof sheeting.

Roof Insulation:
135mm layer of Isotherm insulation or equivalent and approved to be applied to entire roof. Vapour barrier HF 2 aluminum foil sililation or equivalent to be laid directly under the roof sheeting

Ceilings:
6.4mm Rhino-board ceiling, skimmed and painted on 50x38mm battens spaced max 450mm cc

All Eaves
Detail of eaves to match existing dwelling.

Rainwater goods:
Fascias and bargeboards to be 225 x12mm "Everite Nutee" or similar approved medium density fibre cement board with plain finish, butt jointed and painted with high quality acrylic paint to match the roof colour. Seamless "Waterite" Aluminium or similar, approved standard domestic Ogee gutters with round down pipes, powdercoated. "Everite" or similar approved plain fibre cement fascia, painted.

Window & Doors:
All new windows & doors to separate schedule

Pergola:
Pergola: 144 x 44 mm double hardwood rafters on 144 x 44 mm double hardwood bearer secret fixed to dwelling. Pergola to be treated and finished with dark staining.Walls to be plastered and painted to match existing.

Paving:
Laterite brick to be used for parking area. Red brick to be used for broad area.

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21. ENERGY USAGE IN BUILDINGS TO COMPLY WITH:	SANS 10400-U

BUILDING CLASSIFICATION: G1- OFFICES

DESIGN POPULATION: 30 PERSONS

PARKING RATIO:4/100m² THEREFORE 8 PARKING SPOTS REQUIRED. 10 PARKING SPOTS PROVIDED- COMPLIES

GROSS LEASABLE AREA(GLA):	197.98m ²
AREA SCHEDULE	
Erf size:	2015.6m ²
Total Existing Built Area:	590m ²
Proposed Built Area:	590m ²

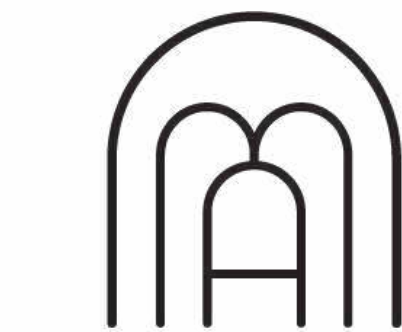
EXISTING TOTAL FLOOR AREA:	590m ²
Main Building:	320m ²
Covered Veranda:	70m ²
Garage:	65m ²
Staff Dining and Entertainment Area/Rec room:	92m ²
Covered Patio:	43m ²

EXISTING COVERAGE CALCULATION
Coverage 29.27%

Professional:	Nikita van Zyl
Registration Number:	PSAT 247 512 65
Signature:	

COUNCIL DRAWINGS

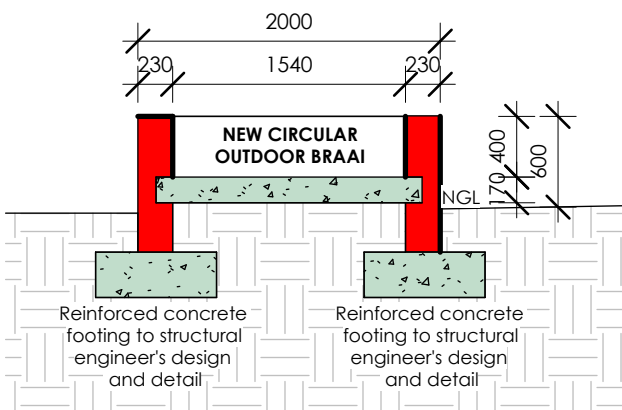
02	Issued for MUNICIPAL approval	08/04/2025
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No.	Revisions	Date



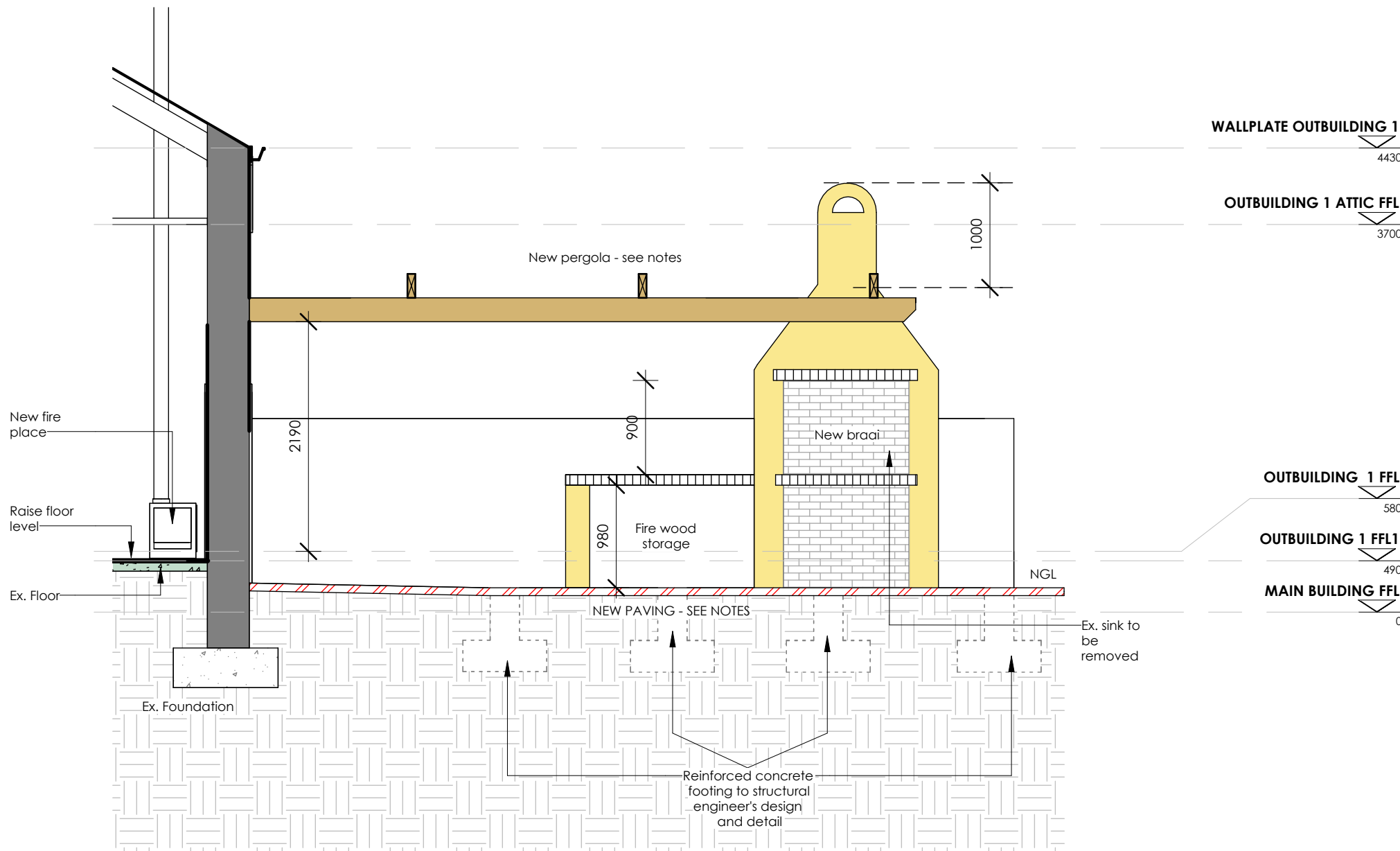
ARCH
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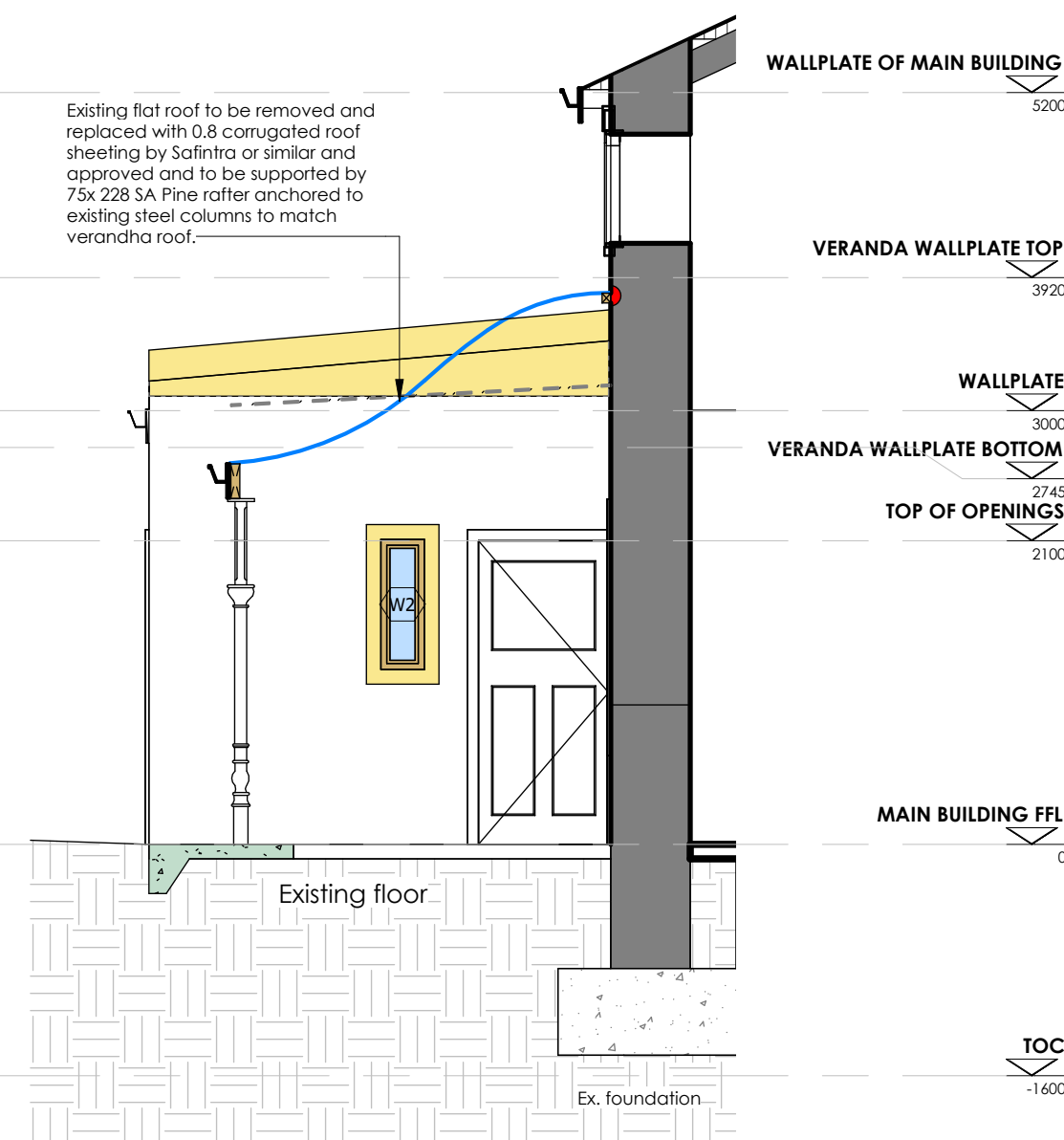
Client	FRUITWORKS
Project	ALTERATIONS AND ADDITIONS TO EXISTING STRUCTURE, ERF 3432, 58 MAIN RD, PAARL
Drawing title	ELEVATIONS
Scale on A1	As indicated
Date	06/05/2025
Drawing no.	4172- 01
Revision	01
Drawn	AC
Checked	WAF/INVZ



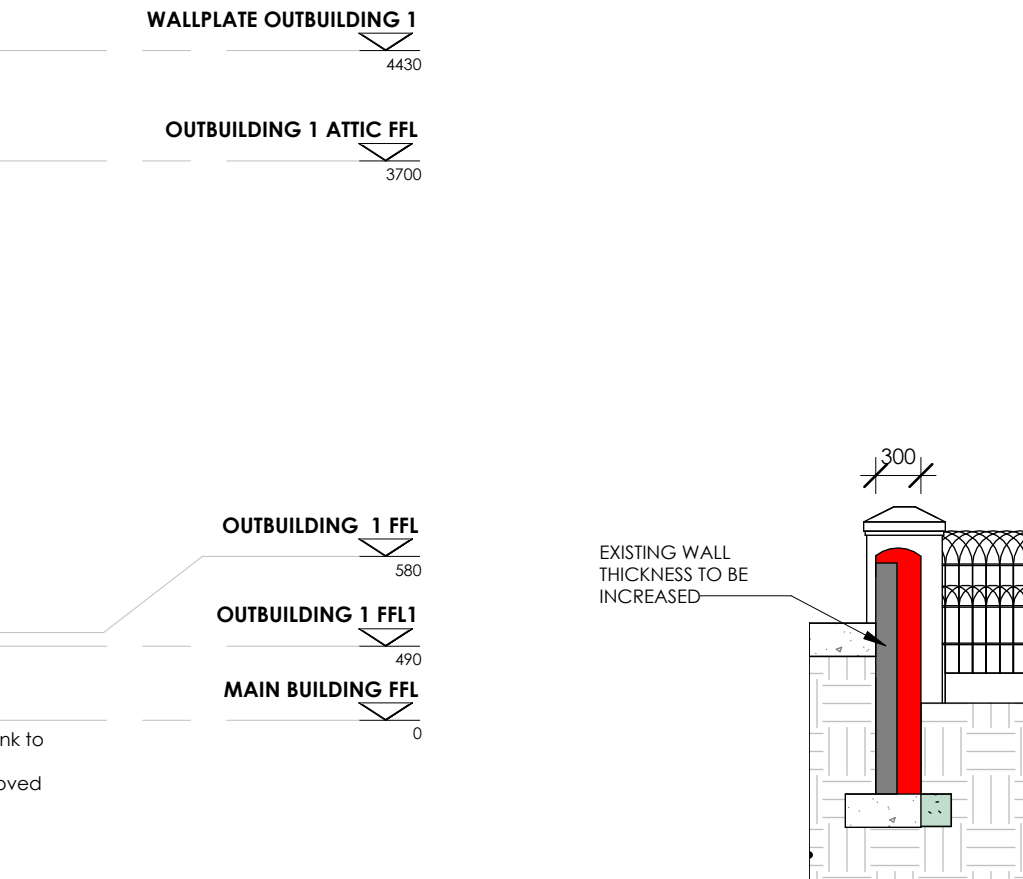
SECTION AA
SCALE 1: 50



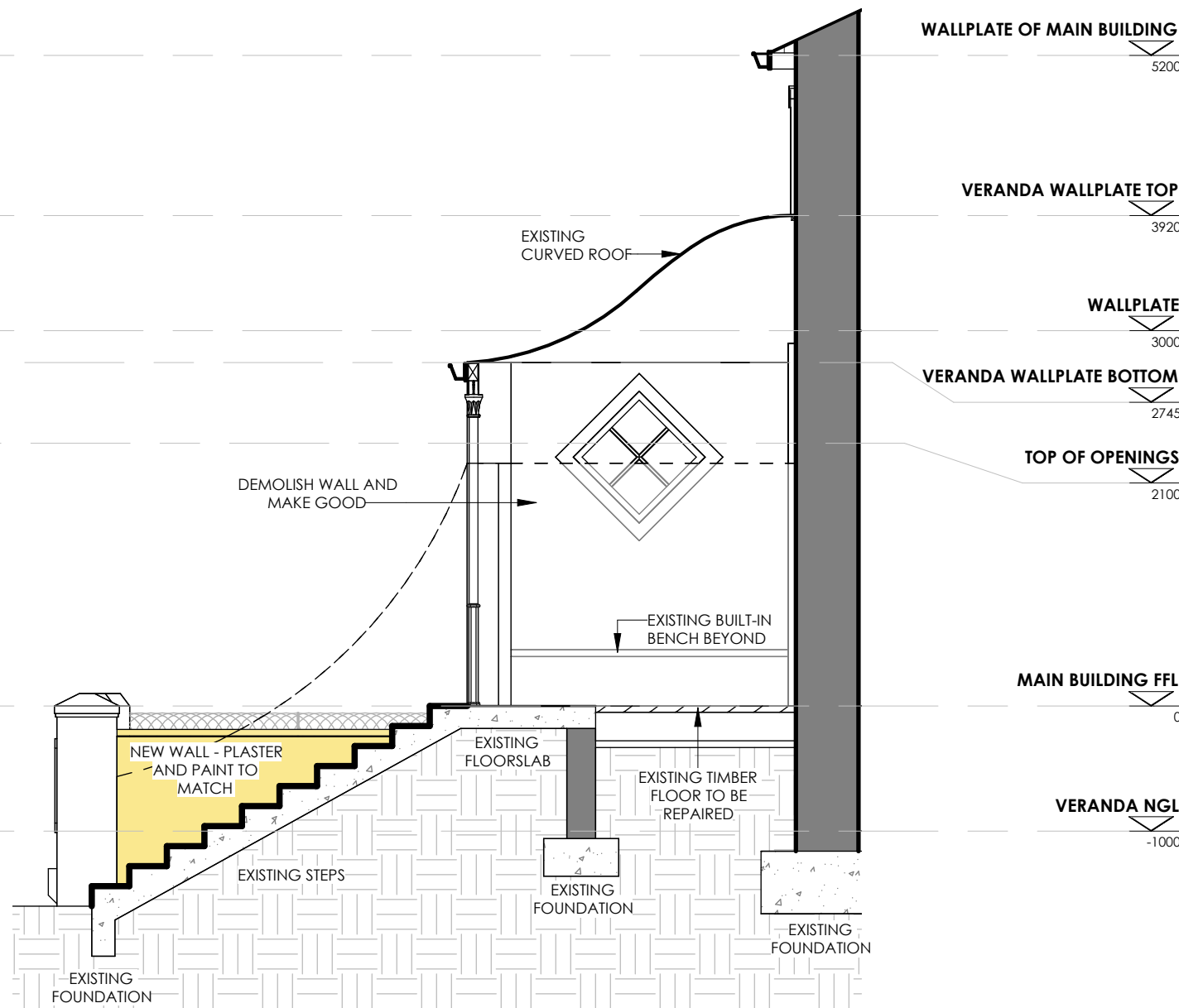
SECTION BB
SCALE 1: 50



SECTION CC
SCALE 1: 50



SECTION EE
SCALE 1: 50



SECTION DD
SCALE 1: 50

ENERGY DEMAND AND CONSUMPTION CALCS:

MINIMUM R-VALUE OF PIPE INSULATION	
1	2
Internal diameter of pipe mm	Minimum R-value*
≤80	1.00
>80	1.50

* Determined with a hot surface temperature of 60°C and an ambient temperature of 15°C.

Typical CR - Values	
1	2
Double brick wall type	CR - Value h
No cavity	40
With 50mm air cavity	60
With R = 0.5 cavity insulation	90
With R = 1 cavity insulation	130

Note: The following types of masonry walling comply with the R-value

a) double-skin masonry with no cavity, plastered internally, or rendered externally; or

Note: The cavity and grouted cavity walling systems exceed the min R-value of 0.35.

b) single-leaf masonry with a nominal wall thickness greater than or equal to 140mm

(and plastering and rendering), plastered internally.

The req refer to the external walls of the habitable portions of the building fabric only

HOT WATER SUPPLY NOTES:	
• 50% of hot water to be heated by means of other than electricity. (Solar heating).	
• Solar storage capacity -	
• Hot water demand - 4 persons	
• Storage volume and heated power	
• Capacity of water heating insulation	
• Solar collector flat plate solar geyser	
• Regulation XA2 and XA4.1 have been met	
• All installations must be in accordance with	
SANS 1022 - 1 and SANS 10106	

Insulation required notes:

- Required: Inter diameter of hot water pipes: <80 mm = Min R-Value = 1.00 (SANS 204)
- Provided: lower 35mm thick geyser pipe insulation - combustible light weight fiberglass glasswool Geyser insulation size 3500mm x 1200mm with edges sealed with binding tape including 15mm x 20mm glasswool Snap - on pipe insulation on all hot and cold water pipes, all in accordance with the manufacturers recommendations. R- value = 1.00m²/K/W

Hot water demand and consumption: (as perpart XA of SANS 10400)

The average population in new office : 20 person

- Assume that the office is occupied between 08:00 - 17:00 on week days. Excluding 1 hour lunch. Average of 8 hours per day during the week. Week days : 8hours x 5days = 40hours per week
- Assume that on weekends the office is occupied between 08:00 - 10:00 for potential meetings. Average of 2 hours per day during the weekend. Weekends : 2hours x 2days = 4hours per weekend

TOTAL HOURS PER ANNUM:

1. total hours per week (ch + dh) x Weeks in a year (52) = 2288

2. total days in a year (365) x hours in a day (24) = 8760

total hours used per year / total hours per year :

2288/8760 = 0.26

CONSUMPTION:

- population in office x daily usage x capita - SANS (115L per day) 20 x 115L x 0.26 = 338L of water a day needed @ 38° C
- 1.5 x 338 per day = 882L required per day

REQUIRED: Storage in excess of daily usage +50%

PROVIDED: 4 x 150L Apollo Solar Technology APIH-15 Integrated High Pressure Solar Geyser (150L) to be installed and connected to all water points. This heats up more than 50% of hot water required per day

- More than 50% of heating by non-electrical resistance heating (which is greater than the minimum 50% required) = COMPLY
- Solar to be supplied and installed all in accordance with manufacturers' recommendations, all to comply to SANS 60335-2, and SANS 1352.

INSULATION REQUIRED:

REQUIRED: Internal diameter of hot water pipes <80mm = min. required r-value = 1.00 (SANS 10400).

PROVIDED: lower 35mm thick geyser pipe insulation non-combustible light weight fiberglass glasswool geyser insulation size 3500mm x 1200mm with edges sealed with binding tape including 15 x 20mm glasswool snap-on pipe insulation on all hot and cold water pipes. All in accordance with manufacturers recommendations.

R-value - 1.00m²/K/W

Minimum total R-values of roofs assemblies and levels of thermal insulation

Energy zones	4
Minimum required total R-Value (m ² K/W)	3.7
Direction of heat flow	Up
Minimum total R-value (m ² K/W) of roof and ceiling materials (Roof covering includes outside air film, non-reflective unventilated air space and plasterboard only)	0.30 to 0.35
Estimated minimum added R-Value of insulation (m ² K/W)	3.35
Product	Glass wool blanket
Density (kg/m ³)	10 to 18
K-value (W/m.K)	0.040
Recommended levels (thickness in mm) of thermal insulation to be used equivalent to R-Value required. Thermal conductivity values used are generic.	135 mm

THEREFORE COMPLIES

FENESTRATION CALCULATIONS:

TOTAL AREA FLOOR OF NEW DWELLING = 590m²

WINDOW TOTAL - 1.5m²

DOORS TOTAL - 17.15m²

20% OF TOTAL AREA = 88.5m²

TOTAL GLAZING = 18.65m²

LESS THAN 20%

DOES COMPLY WITH REGULATIONS

GENERAL NOTES:

FILLING MATERIAL:

Filling materials under floor slabs to consist of suitable material and to be compacted in layers of max. 150mm thick. to be a density of at least 95%MOD AASHTO

FOUNDATIONS:

Concrete in 1:3:6 mix to sizes as shown on drawings. Cement to be SABS ENV 197-1 strength class 32.5 and aggregate to SABS specification 1083. Continuous strip foundation to be minimum 250mm thick, unless laid on solid rock and min 750mm wide to load bearing or free standing walls or 400mm wide for non-loadbearing internal masonry walls.

FLOORS:

Floor finish as described elsewhere on 30mm 3:1 sand/cement screed on 100mm 1:2:4 concrete slab on 250micron membrane on consolidated fill for groundfloor. Floorslabs to be reinforced with BRCC245 weldmesh where depth of fill exceeds 1m. No ground floor slab to pass over or to be supported on foundation walls.

FLOOR DAMP PROOFING:

Under floor membrane to be Guplup 250 micron membrane on 50mm sand binding layer to be laid on surface not containing sharp objects and to be turned up around perimeter of and at least for full thickness of slab. Any joints will overlap 150mm min and will be effectively sealed.

WALLS:

All bricks to comply to with SABS 227. External walls to be 280mm cavity walls with plastered and painted bricks where indicated. Internal walls to be 115/230mm walls with plastered and painted bricks. Exterior walls to be painted white.

WALL DAMP PROOFING:

Guplup 375 micron to all walls stepped to outer skin of wall when a cavity wall. Whespholes every 3rd brick. Vertical DPC to door, window cills and heads. No DPC to free standing walls.

PLASTER:

Internal and external walls to receive smooth plaster finish.

BRICK TIES:

Galvanized butterfly type every 4th course staggered at 1m c/c

PRECAST LINTELS:

STRESSCO lintels over all openings exceeding 1.5m with damp proof membrane stepped over. Openings of more than 3.5m to be engineer's designed.

BRICK REINFORCEMENT:

Use galvanized brick lace in first 5 courses above foundation and 5 courses continuous above lintel height.

ROOF SHEETING TO ENTIRE ROOF AREA:

Safitro 0.50mm thick Saflok 4108 Colorplus® AZ 150 Interlocking roof sheeting fixed to steel internal purlins at 1700mm centres, and ridge/leaves purlins at 1500mm centres using Saflok 4108 clips that must be fastened with Safitro approved water head self-tapping screws, all in accordance with manufacturer's recommendations. The sheeting will be a double interlocking concealed fixed Saflok 4108 as manufactured by Safitro, roll-formed in continuous lengths from Aluminum or Aluminum-Zinc coated steel. Colour to be dark charcoal.

Roof 1: (Curved roof)

0.8 Corrugated Roof sheeting by Safitro or similar and approved to be curved matching front veranda to be supported by 75x 228 SA Pine rafter anchored to existing steel columns.

Roof Anchor:

Trusses to be anchored min 750mm deep by 30 x 1.2 mm galvanized steel strap

Ridge & side flashing to match colour of roof sheeting.

Roof insulation:

135mm layer of Isotherm insulation or equivalent and approved to be applied to entire roof. Vapour barrier HF 2 aluminium foil isolation or equivalent to be laid directly under the roof sheeting

Ceilings:

6.4mm Rhino-board ceiling, skimmed and painted on 50x38mm battens spaced max 450mm cc

All Eaves

Detail of eaves to match existing dwelling.

Rainwater goods:

Fascias and bargeboards to be 225 x 12mm "Everite Nulite" or similar approved medium density fibre cement board with plain finish, buff painted and painted with high quality acrylic paint to match the roof colour. Seamless "Waterlite" Aluminum or similar, approved standard domestic Gorge gutters with round down pipes, powdercoated, "Everite" or similar approved plain fibre cement fascia, painted.

Window & Doors:

All new windows & doors to separate schedule

Pergola:

144 x 44 mm double hardwood rafters on 144 x 44 mm double hardwood bearer secret fixed to dwelling Pergola to be treated and finished with dark staining.Walls to be plastered and painted to match existing.

Paving:

Lateralite brick to be used for parking area. Red brick to be used for braai area.

GENERAL NOTES:

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ALL DIMENSIONS TO BE CHECKED ON SITE AND DRAWINGS MUST NOT BE SCALED.

ANY INDISTINCTNESS OR DISCREPANCIES MUST IMMEDIATELY BE POINTED OUT TO THE ARCHITECT FOR RECTIFICATION OR EXPLANATION BEFORE ANY CONSTRUCTION CAN COMMENCE.

GLAZING TO COMPLY WITH NBR PART N GEYSER TO COMPLY WITH SANS 0254 WOOD TO COMPLY WITH SANS 0163

LEVELS AND STEPS TO BE DETERMINED ON SITE BY CONTRACTOR. TO BE APPROVED BY CLIENT AND ARCHITECT.

WHERE DRAINAGE OCCURS UNDER ANY PART OF A BUILDING. FOUNDATIONS MUST BE REINFORCED ACCORDING TO ENGINEER'S SPEC AND TO NBR REGULATIONS.

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19. SPACE HEATING TO COMPLY WITH:	SANS 10400-S
20. FIRE INSTALLATION TO COMPLY WITH:	SANS 10400-T
21. ENERGY USAGE IN BUILDINGS TO COMPLY WITH:	SANS 10400-U

BUILDING CLASSIFICATION: G1- OFFICES

DESIGN POPULATION: 30 PERSONS

PARKING RATIO:4/100m² THEREFORE 8 PARKING SPOTS REQUIRED. 10 PARKING SPOTS PROVIDED- COMPLIES

GROSS LEASABLE AREA(GLA): 197.98m²

AREA SCHEDULE

Erf size: 2015.6m²

Total Existing Built Area: 590m²

Proposed Built Area: 590m²

EXISTING TOTAL FLOOR AREA: 590m²

Main Building: 320m²

Covered Veranda: 70m²

Garage: 65m²

Staff Dining and Entertainment Area/Rec room: 92m²

Covered Patio: 43m²

EXISTING COVERAGE CALCULATION

Coverage 29.27%

Professional:	Nikita van Zyl
Registration Number:	PSAT 247 512 65
Signature:	

COUNCIL DRAWINGS

No.	Revisions	Date
02	Issued for MUNICIPAL approval	08/04/2025
01	Issued for MUNICIPAL approval	18/03/2025



NIKITA VAN ZYL | 0726248024 | info@archonmain.co.za
115 Hoofweg Road, Wellington, 7655

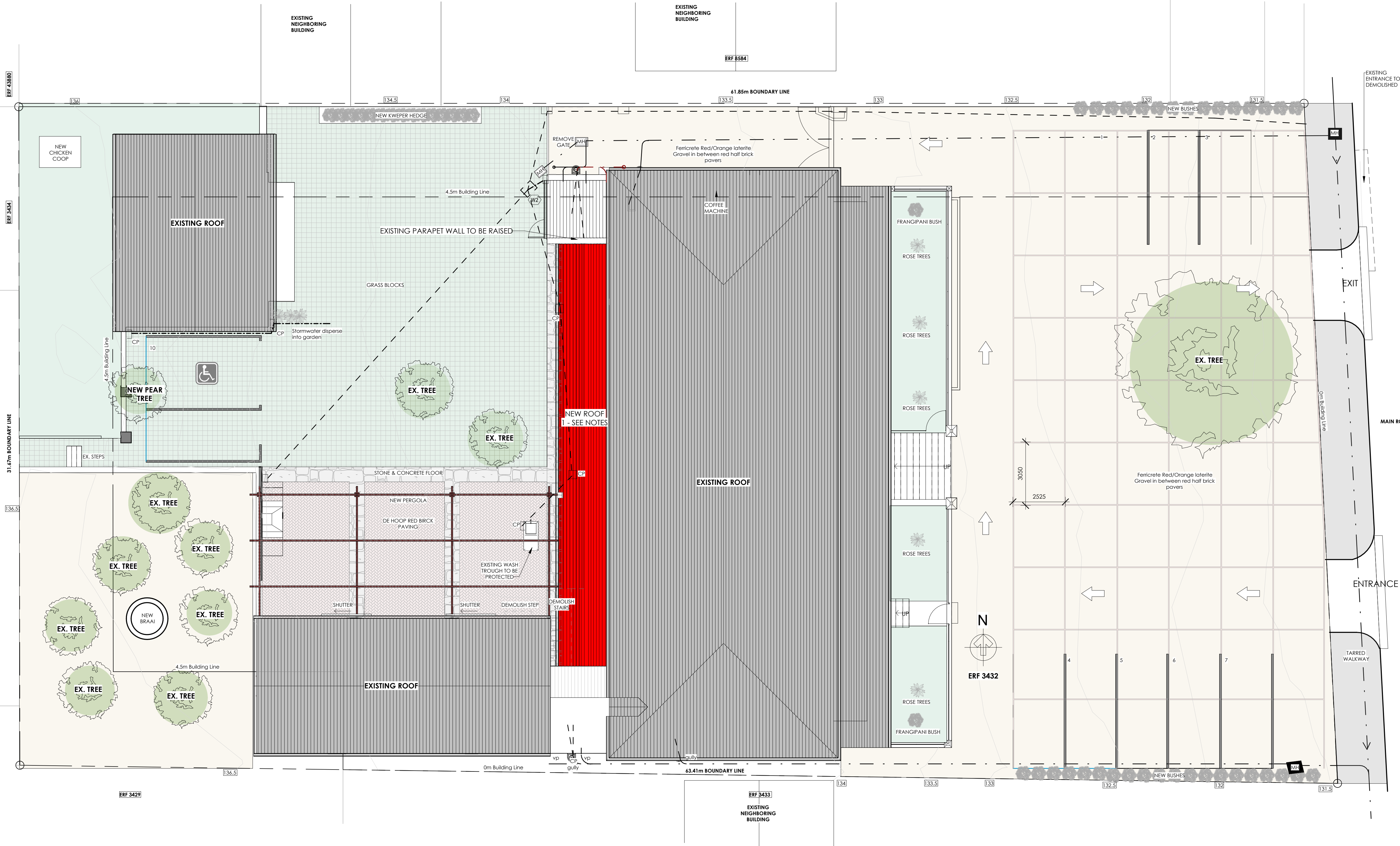
Client

FRUITWORKS

Project

ALTERATIONS AND ADDITIONS TO EXISTING STRUCTURE, ERF 3432, 58 MAIN RD, PAARL

Drawing title		Scale on A1	
SECTIONS		As indicated	
		Date	
		06/05/2025	
Drawing no.		Revision	
4172- 02		03	
		Drawn	
		AC	
		Checked	
		WAF/INVZ	



ROOF PLAN
SCALE 1: 100

GENERAL NOTES:

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AREA SCHEDULE
Erf size: 2015.6m²
Total Existing Built Area: 590m²
Proposed Built Area: 590m²

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Main Building: 320m²
Covered Veranda: 70m²
Garage: 65m²
Staff Dining and Entertainment Area/Rec room: 92m²
Covered Patio: 43m²

EXISTING COVERAGE CALCULATION
Coverage 29.27%

Professional: Nikita van Zyl
Registration Number: PSAT 247 512 65
Signature: *N. Zyl*

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NIKITA VAN ZYL | 0726248024 | info@archonmain.co.za
115 Hoofweg Road, Wellington, 7655

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FRUITWORKS

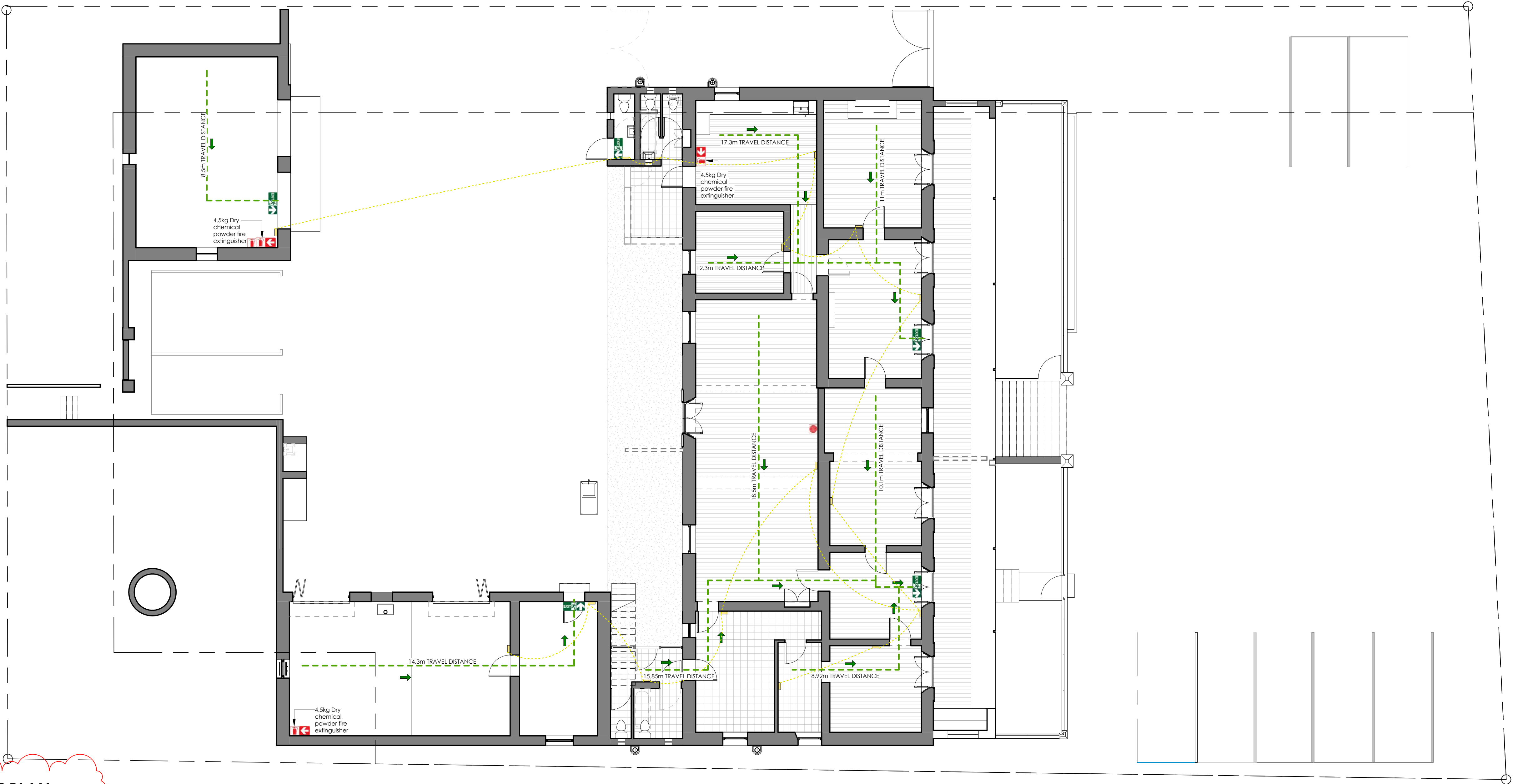
Project
ALTERATIONS AND ADDITIONS TO EXISTING STRUCTURE, ERF 3432, 58 MAIN RD, PAARL

Drawing title	Scale on A1	As indicated
ROOF PLAN	Date	06/05/2025
Drawing no.	Revision	Drawn
4172- 03	01	WAF/NVZ

GROSS LEASABLE AREA (GLA):	197.98m²
Office 2	12.99m ²
Board Room	22.41m ²
Reception 2	23.07m ²
Open Work Area	65.90m ²
Office 1	26.52m ²
Reception 1	14.25m ²
Finance	14.25m ²
Rec room	18.74m ²
Total gross leasable Area:	197.98m²

OCCUPATION CLASSIFICATION
Occupancy = G1-Offices
Total built area = 590m²
Design population based on seats>30

FIRE PLAN SYMBOL LEGEND	
	FIRE ESCAPE ESCAPE EXIT
	GENERAL DIRECTION TO FIRE ESCAPE ROUTE / EXIT
	FIRE EXTINGUISHER
	LOCATION OF FIRE FIGHTING EQUIPMENT
	DIRECTION OF TRAVEL
	EMERGENCY LIGHTING
	FIRE ASSEMBLY POINT
	FIRE TRAVEL DISTANCE
	FIRE HOSE REEL



FIRE PLAN
SCALE 1: 100

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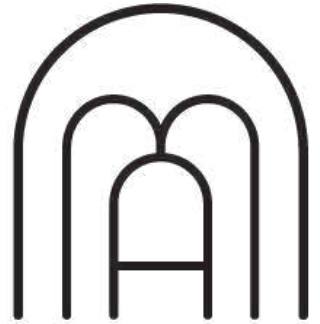
Professional: Nikita van Zyl

Registration Number: PSAT 247 512 65

Signature:

COUNCIL DRAWINGS

02	Issued for MUNICIPAL approval	08/04/2025
01	Issued for MUNICIPAL approval	18/03/2025
No.	Revisions	Date



**ARCH
ON MAIN**

NIKITA VAN ZYL | 0726248024 | info@archonmain.co.za
115 Hoofweg Road, Wellington, 7655

Client	FRUITWORKS
Project	ALTERATIONS AND ADDITIONS TO EXISTING STRUCTURE, ERF 3432, 58 MAIN RD, PAARL
Drawing title	SITE AND FLOOR PLAN
Scale on A1	As indicated
Date	08/04/2025
Drawing no.	4172- 04
Revision	01
Drawn	AC
Checked	WAF/NVZ



Memo

To:	EXECUTIVE DIRECTOR: CORPORATE & PLANNING SERVICE (ATTENTION: C. VAN DER BANK)
From:	EXECUTIVE DIRECTOR: ENGINEERING SERVICES
Enquiries:	LH. SMITH
Collaborator number:	2255828
Reference number:	15/4/1 (3432) P (0980)
Date:	31 July 2025
Subject:	APPLICATION FOR REZONING, DEPARTURE OF DEVELOPMENT PARAMETERS AND APPROVAL OF SITE DEVELOPMENT PLAN: ERF 3432, PAARL

These conditions will be subject to review by the Engineering Services Department upon receipt of Civil and/or building plans for approval. This may require all the studies carried out for the proposed development to be updated and revised accordingly, which shall include compliance with the latest legislation, amended legislation, latest or amended standards and revised master planning.

The aforementioned is based on the possibility of changes in the physical environment in respect of engineering infrastructure between date of issuing of conditions and actual building/construction being imminent, which may impact on available relevant infrastructure capacities as at time of initial issuing of conditions.

NOTE: This comment covers a number of disciplines and each section needs to be dealt with by a competent specialist in that field co-ordinated by the consultant managing the application. No correspondence will be entered into with individual consultants.

THE FOLLOWING CONDITIONS WILL APPLY

1 STREETS & TRAFFIC

- 1.1 Any new roads/streets and accesses will be the responsibility of the developer, including all internal and bulk connectors;
- 1.2 *Any alterations to the existing road network will be the responsibility of the developer which includes design, approval and construction of any additional traffic control and or traffic calming measures as per Traffic Impact Assessment (TIA) dated March 2025, Rev 01; and*
- 1.3 *It should be noted by the Developer that the proposed access configuration is not to standard in terms of the Western Cape Provincial Access Management Guidelines but is similar to neighbouring properties. This may result in difficulties entering and exiting the property.*

2 STORM WATER

- 2.1 ***A Stormwater Management Plan (SWMP) must be submitted for approval to the Engineer: Roads and Stormwater prior to any building and/ or civil plan approval;***
- 2.2 Any new storm water networks will be the responsibility of the developer, including all internal and bulk connectors;
- 2.3 Only pre-development run-off of a 1:2 year storm event will be accepted into the existing system. Provision must be made to accommodate the detention of run-off for a 1:50 year storm event; and
- 2.4 Provision must be made for an effective rainwater harvesting system to be planned and designed for all roof water. The volume of the storage facilities should be based on 0.02m³/m² roof area.

3 WATER

- 3.1 The existing water metered connection for the development shall remain;
- 3.2 Water saving devices shall be installed in toilets, bathrooms and basins; and
- 3.3 Any existing system that is to remain shall be upgraded to minimum municipal standards.

4 WASTEWATER SERVICES

- 4.1 The existing wastewater connections for the development shall remain; and
- 4.2 Any existing system that is to remain shall be upgraded to minimum municipal standards.

5 SOLID WASTE

- 5.1 The Municipality undertakes to remove household refuse in accordance with its by-laws;
- 5.2 Such refuse collection will be provided as a kerbside service;
- 5.3 A waste recovery/recycling initiative has been implemented in Drakenstein and the development will have to be prepared to comply with any requirements as the project is rolled out.

6 DEVELOPMENT CHARGES

- 6.1 Based on the information provided in the application, the Development Charge payable by the developer is **R 62 526.00 (Excl VAT)**. The levy is valid until **30 June 2026** where after a new calculation is required. The value has been calculated as follows:

- 6.1.1 Water = R 0.00
- 6.1.2 Sewer = R 0.00
- 6.1.3 Roads = R 55,104.00
- 6.1.4 Stormwater = R 4,932.00
- 6.1.5 Solid Waste = R 2,489.00

7 GENERAL

- 7.1 ***Depending on the scale of expansion in future, additional Civil Engineering Specialist Reports may be requested by this department when the developer wishes to increase the GLA;***
- 7.2 The developer is responsible for the payment of a Developers Charge (water, sewer, stormwater, solid waste and roads) which can be discounted against the bulk service cost needed for the development;
- 7.3 The developer is responsible for the funding of all connections to the bulk services and all internal works;
- 7.4 All of the works, including but not limited to; roads, stormwater, water, sewers, landscaping, irrigation, etc. shall be designed by a suitably registered (ECSA registration for the civil works and SACLAP registration for the landscaping) person and any such works shall be constructed under supervision of such registered person. All such design plans shall be submitted to the Civil Engineering Services Department of Drakenstein Municipality for approval prior to the commencement of construction;
- 7.5 All works where applicable shall be constructed to at least the minimum standards as set out in, Engineering Services: Municipal Standards;
- 7.6 A set of accurate as-built drawings as per Drakenstein Municipality: Civil Engineering Department's Standards must be submitted at the practical completion inspection; and
- 7.7 The above conditions are to be complied with in stages.
 - 7.7.1 Requirements associated with the preparation of plans, drawings, permits, agreements and approvals, shall be complied with prior to construction;
 - 7.7.2 Requirements associated with the completion of construction, development charges, as-built drawings, maintenance management plans, agreements, etc. These will be complied with prior to the transfer of any subdivided erf within the development property or occupation of any property/building in the phase; and

- 7.7.3 Proof of compliance for the requirements associated with long term operations must be available on request.



LH Smith


SENIOR MANAGER: INFRASTRUCTURE MANAGEMENT

I:\INFRASTRUCTURE MANAGEMENT\DEVELOPMENT APPLICATIONS\15 town planning\15-4-1\2025\Comments\Erf 3432, Paarl - Application for Rezoning, and Approval of SDP.docx

LHS/bb

New

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Provide reasons for applying exemptions	DEVELOPMENT CHARGE PER SERVICE												R	-	R	-	R	4 932	R	2 489	R	55 104							
	EXEMPTIONS PER SERVICE (%)																												
	VALUE APPLICABLE EXEMPTIONS												R	-	R	-	R	-	R	-	R	-							
	DEVELOPMENT CHARGE PER SERVICE WITH EXEMPTIONS												R	-	R	-	R	4 932	R	2 489	R	55 104							
Provide reasons for applying credits	APPLICABLE CREDITS (%)												0%																
	APPLICABLE CREDITS (R)												R 0																
	TOTAL DEVELOPMENT CHARGE PAYABLE (EXCLUDING VAT)												R 62 526																
	TOTAL DEVELOPMENT CHARGE PAYABLE (INCLUDING VAT)												R 9 379																
Application Processed by: Bradley Booyen														R 71 905															
Signature:															Description of existing land use	Single Residential stand area > 500m2 (Med/ High Income)	0	0	0	0	0	0	0	0	0	0			
																Existing House	0	0	0	0	0	0	0	0	0				
																Office	0	0	0	0	0	0	0	0	0				
Date:	18-Jul-25														0	0	0	0	0	0	0	0	0	0					
Payment Received (R):														Road Reserves										0	0	0	0	0	0

Date Payment Received:
Receipt Number:

Description of
proposed land use

Existing building for Office	#REF!	Parking Bays		

Memo

To:	Senior Manager: Land Development Management For attention: H Strijdom/C van der Bank/E Cyster
From:	Manager: Planning and Customer Services
Enquiries:	L Laing
Reference number:	8/2/5_3432
Date:	11 March 2024
Subject:	APPLICATION FOR REZONING

Time Limit on Conditions: These conditions will be limited to a period of one (1) year from the date as on the covering memo from this department. After this period a re-application must be submitted for approval by this department.

1. INFORMATION REQUIRED/OUTSTANDING

1.1. None.

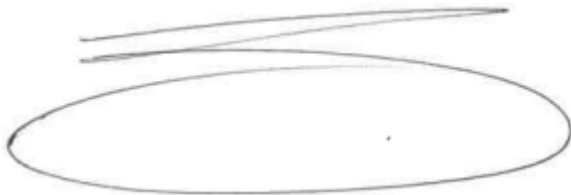
2. THE FOLLOWING CONDITIONS WILL APPLY

- 2.1. Only one service cable connection per erf is allowed.
- 2.2. No trees or any type of structures may be erected under or near any new or existing electrical infrastructure.
- 2.3. All electrical equipment shall comply with Drakenstein Municipality standards and have twenty-four-hour access for maintenance purposes.
- 2.4. The developer will be responsible for all cost in the case where he or she request any infrastructure situated in the road reserve to be moved or relocated to new proposed positions.
- 2.5. The developer is required to include measures to improve energy efficiency for any additional load requirement to the existing electrical supply.
- 2.6. A service level agreement between the municipality and the owner or developer of above-mentioned erf must be arrange at Electro-Technical Service Department (Planning and Design division - Chief Engineering Technician) in the case where a request for the change and or upgrade of the existing supply is required.

3. GENERAL

- 3.1. NRS069 Network recovery cost will apply for any additional load requirement and will be calculated according to the following as indicated in approved tariffs: **R4 317.00 per kVA (V.A.T. included)**. The cost as mentioned above is valid until 30 June 2024 and will escalate thereafter for each upcoming financial year which is between 1 July and 30 June.
- 3.2. The developer will be responsible to carry all cost of the electrical installation.
- 3.3. All upgrade and service costs must be paid at the Finance Services Department in cash before any service connection may be rendered.
- 3.4. A private registered electrical installation electrician shall be used to do all installations and alterations according to SANS 10142, Occupational Health and Safety Act (Act 85 of 1993) and Drakenstein Municipal by-laws prior to the development.
- 3.5. A certificate of compliance and occupational certificate must be handed over to the Electro-Technical Services Department (Service section) on the day the service is rendered or as the case may be.
- 3.6. The Manager: Planning and Customer Services with reference to the services and conditions has no objection to this application.

Yours faithfully



L LAING

MANAGER: PLANNING AND CUSTOMER SERVICES

I:BEPLAN_3\Sub_Divisions_Rezoning\202324\3432

