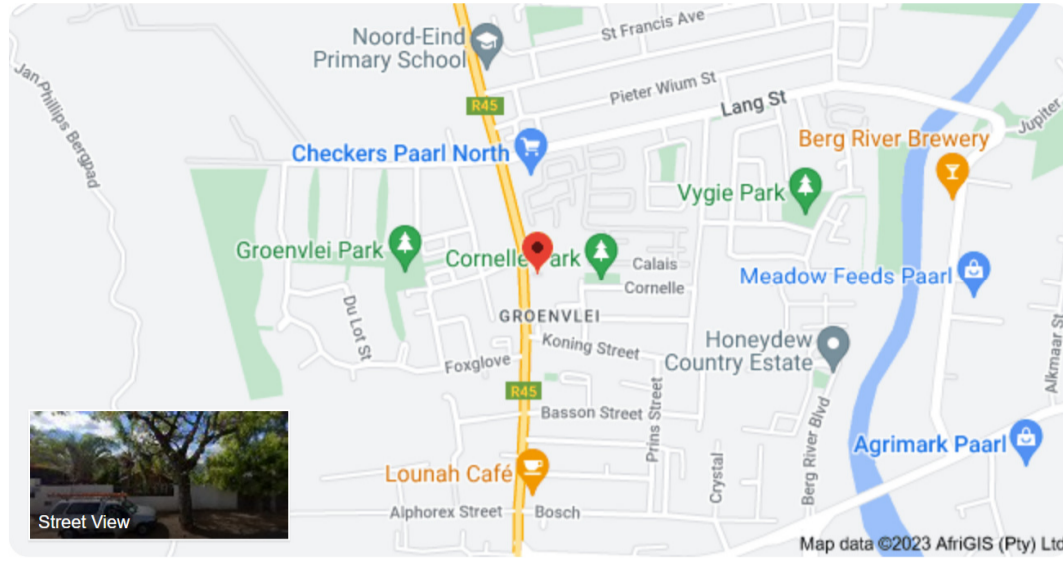


LOCALITY PLAN
NOT TO SCALE

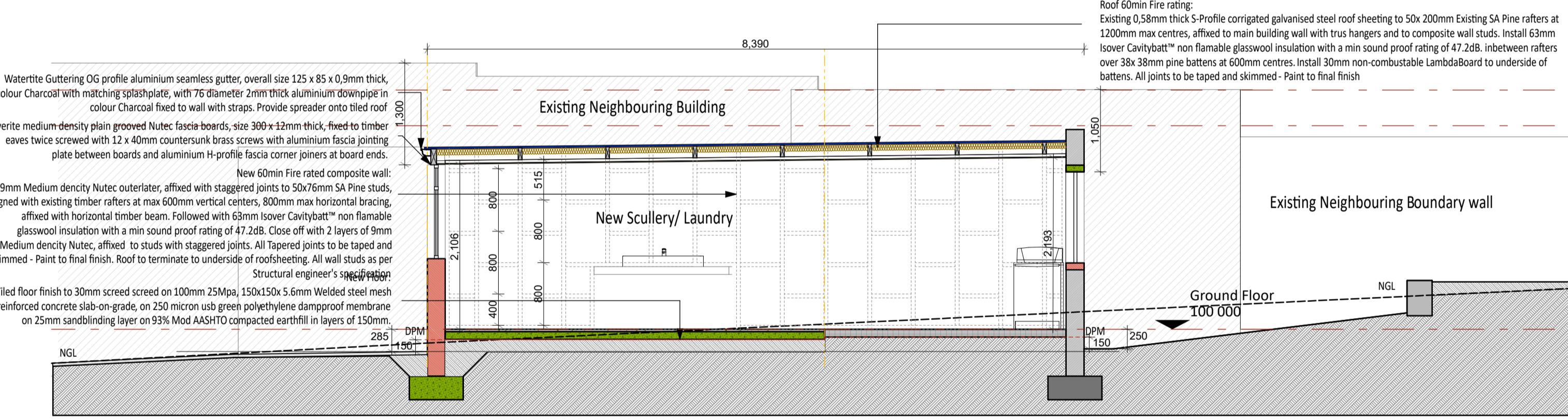
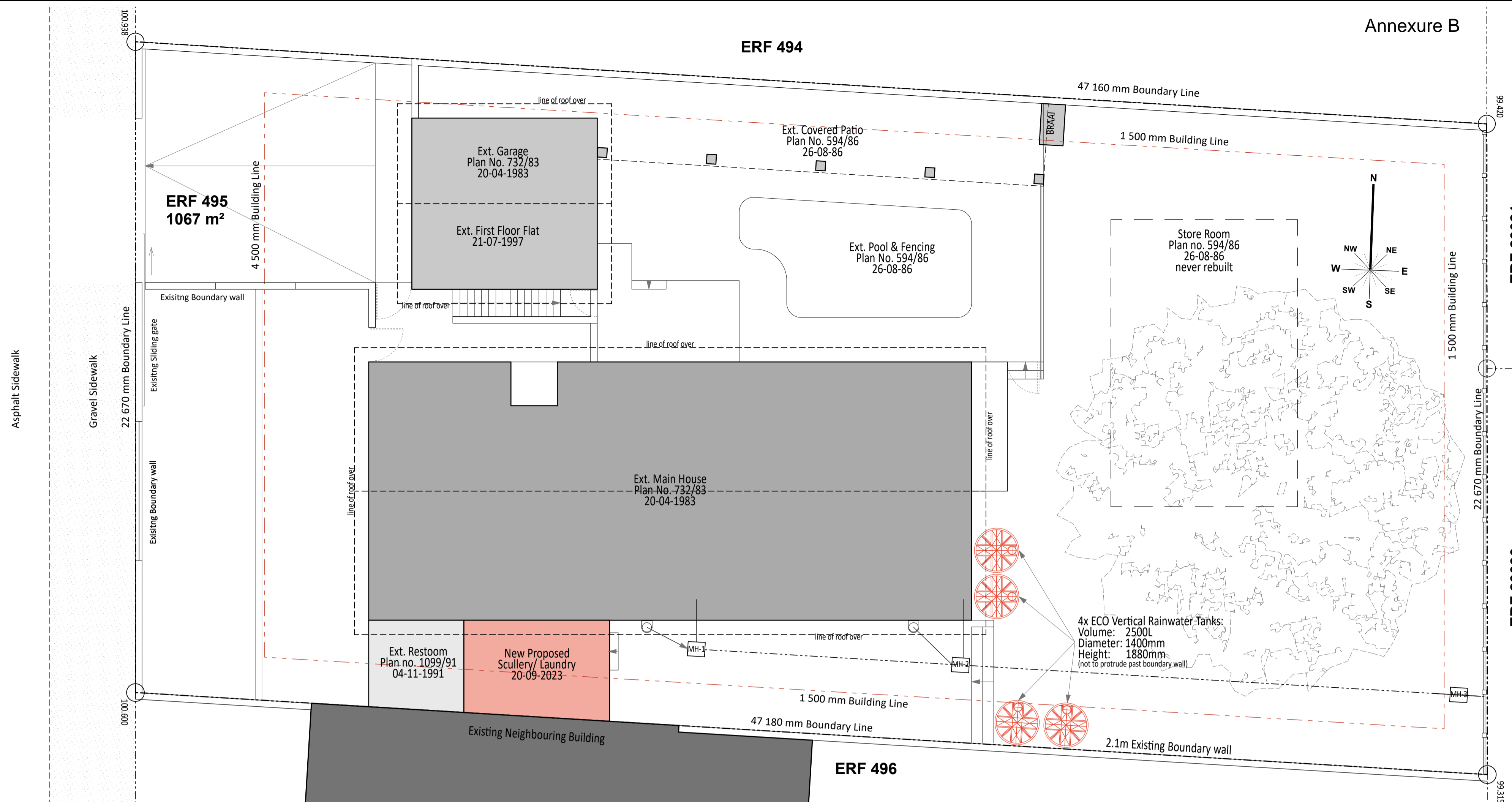


AERIAL VIEW
NOT TO SCALE

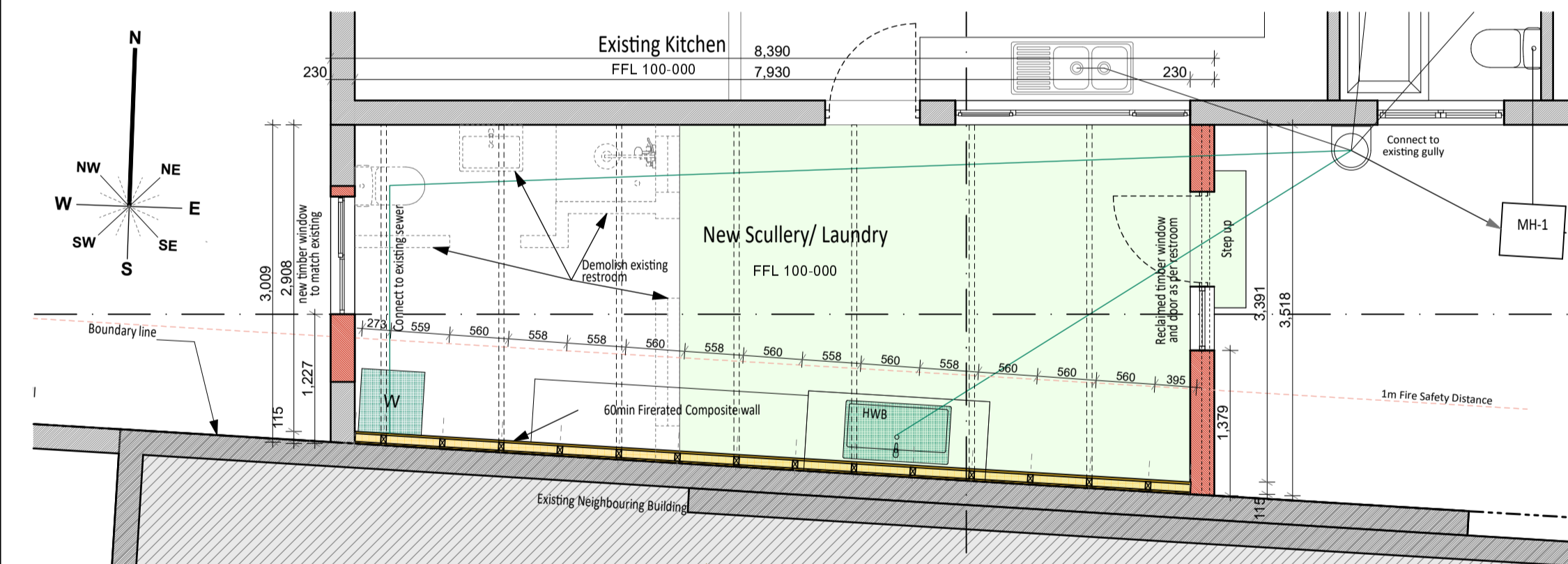


Permissible and Proposed Development (Drakenstein Zoning Scheme Regulations Febr 2018 p. 54-60)		
Development Parameters	Permissible Development Rights Drakenstein Zoning Scheme	Project Parameters
Erf	495	495
Zoning	Conventional Housing (CH)	Conventional Housing (CH)
Occupancy Classification	Dwelling House (H4)	H4
Site Area	1067m ²	1067m ²
Coverage	< 50% (533.5m ²)	34.25% (343.2m ²)
Floor Areas (BULK)	< 75% (800m ²)	27.27%
		Total GBA 291.00m ²
		Ground Floor 252.50m ²
		First Floor 38.50m ²
Max. Height, Incl. Apex	8m from NGL	Compliant

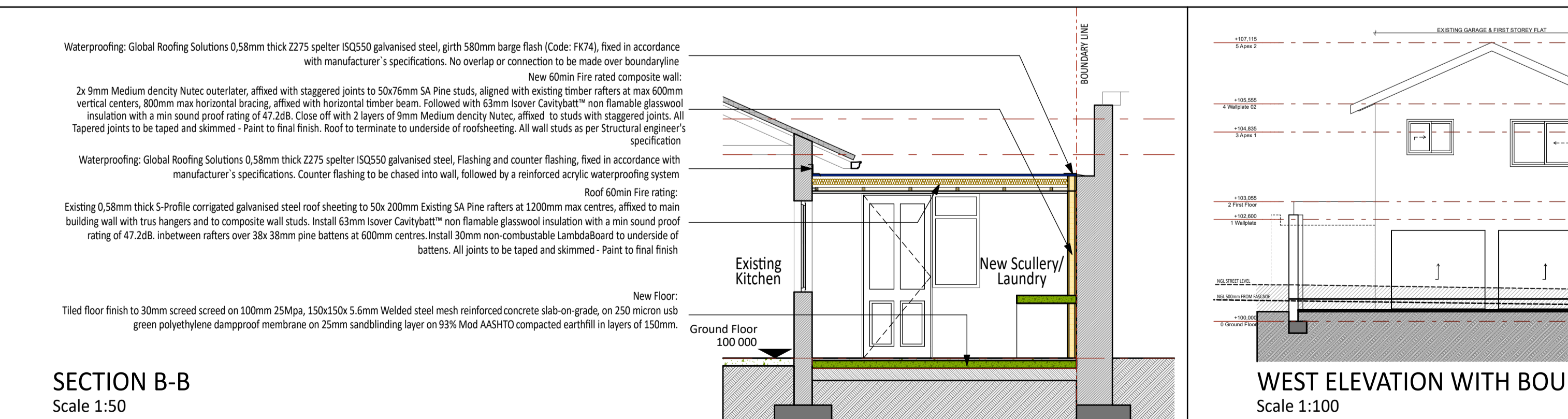
SITE PLAN
Scale 1:100



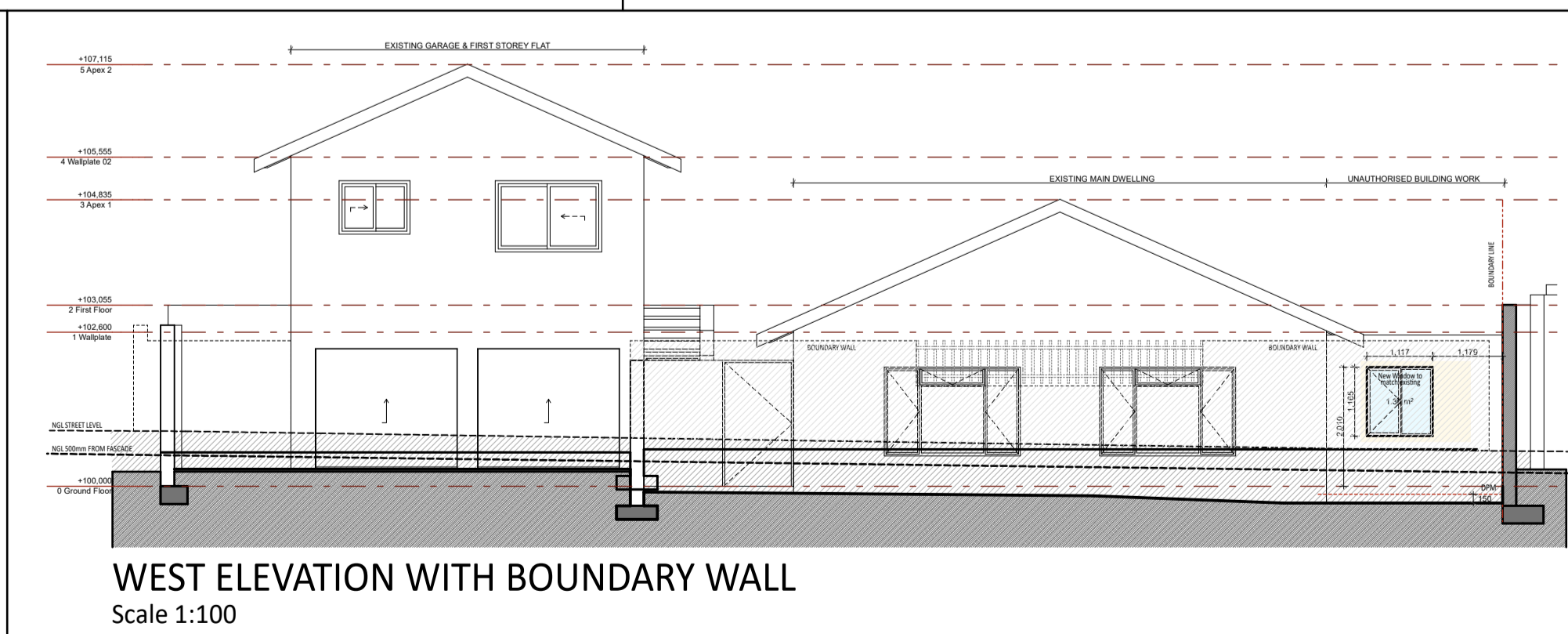
SECTION A-A
Scale 1:50



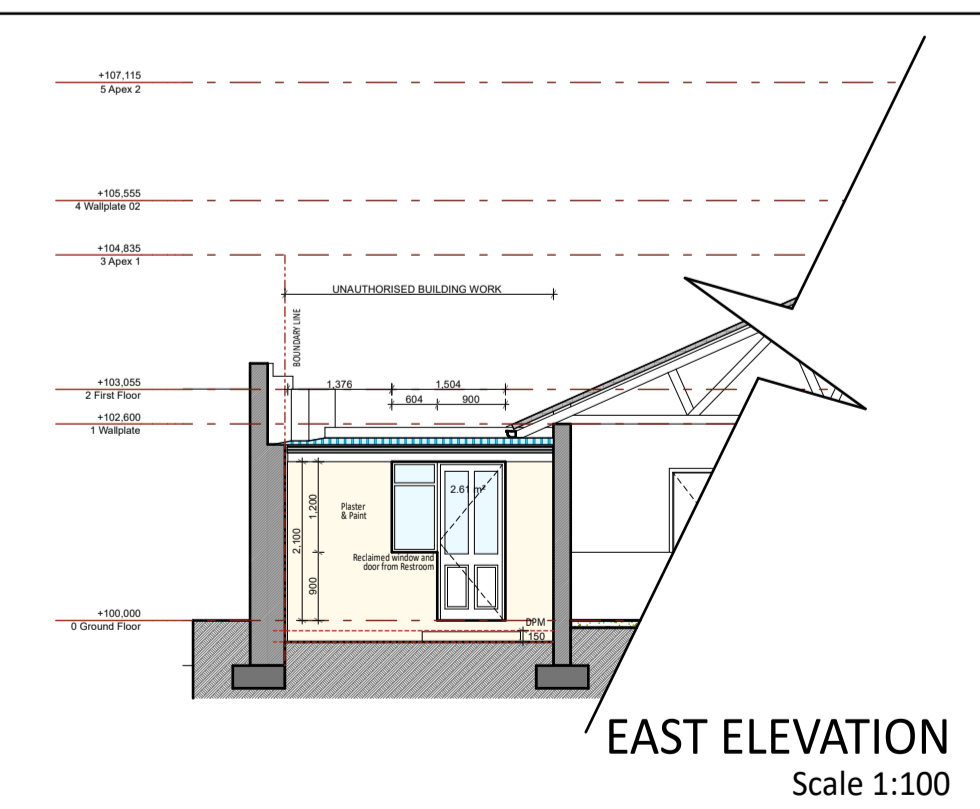
ADDITION: GROUND FLOOR PLAN
Scale 1:50



SECTION B-B
Scale 1:50



WEST ELEVATION WITH BOUNDARY WALL
Scale 1:100

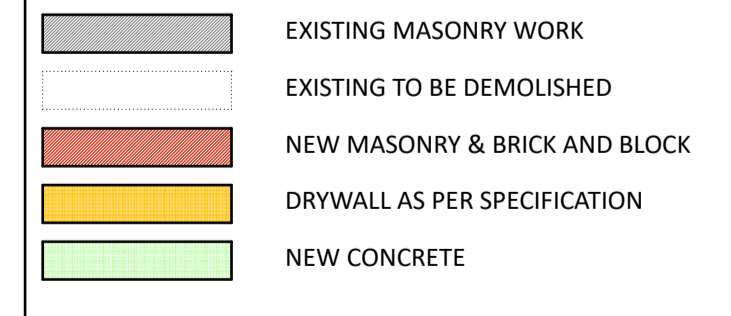


EAST ELEVATION
Scale 1:100

GENERAL NOTES:
ALL LEVELS & HEIGHTS TO BE MEASURED AND VERIFIED ON SITE. ANY DISCREPANCIES WITH PLANS TO BE REPORTED TO THE ARCHITECT.
ALL STAIRS, BALUSTRADES & HANDRAILS TO COMPLY WITH PART M OF SANS 10400.
WINDOW & DOOR NOTES:
GLAZING TO COMPLY WITH PART N OF SANS 10400. DETAIL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE'S "GENERAL SPECIFICATION OF BUILDING WORK" (REF: 1040-E-902).
ALL WATERPROOFING DETAILS TO BE CO-ORDINATED BETWEEN THE CONTRACTOR, WATERPROOFING SPECIALIST AND ALUMINIUM MANUFACTURER, IN REFERENCE TO THE ARCHITECT'S WATERPROOFING DETAILS.
THE ALUMINIUM MANUFACTURER WILL BE DEEMED RESPONSIBLE TO ENSURE ALL PERIMETER WATERBARRIERS (DPC/ WATERPROOFING ANGLES) ARE INSTALLED IN POSITION, BEFORE INSTALLATION OF WINDOWS AND DOORS.
INSTALLATIONS TO BE DONE BY AAAMSA CERTIFIED CONTRACTOR
GLAZING SPECIFICATION:
SEE WINDOW SCHEDULE DRW: 1040-C-601, 1040-C-602, 1040-C-603
SHOWER GLAZING:
10MM TOUGHENED SAFETY GLASS AS PER SPECIALIST TO ADHERE TO SANS 10400-N
MECHANICAL VENTILATION/ EXTRACTION:
2 WAY SYSTEM MUST EXTRACT FOWL AIR AND SUPPLY FRESH AIR@ 25L/S PER PERSON WITH 10 AIR CHANGES PER HOUR AS PER SANS 10400-0, TABLE 2
Applicable To: G-06 Bathroom, G-07 Bathroom, G-08 Bathroom
ENGINEERING NOTES:
SEWERAGE DETAILS, LEVELS & DRAINAGE AS PER ENGINEERS DESIGN & SPECIFICATION.
- THE HYDROLOGIC LOADING FOR PROPOSED DISCHARGE PIPES TO COMPLY TO SANS 10400 PART P (TABLE 13& 14) REFER TO SEWER SECTION.
STORMWATER DETAILS, LEVELS & DRAINAGE AS PER ENGINEERS DESIGN & SPECIFICATION.
ALL ELECTRICAL DISTRIBUTION & SERVICES TO ENGINEERS DESIGN & SPECIFICATION.
ALL DETAIL REGARDING NEW ENGINEERING SERVICES MUST BE OBTAINED FROM THE RELEVANT APPOINTED CONSULTING ENG BEFORE ANY CONSTRUCTION MAY START
NO SERVICE MAY BE CROSSED UNLESS SO APPROVED BY APPOINTED ENGINEER & MUST BE PROTECTED AS INDICATED
FIRE PROTECTION NOTES:
BUILDING CLASSIFICATION OF OCCUPANCY: H4
COMBUSTIBLE MATERIAL (TRUSSES, RAFTERS, FLOOR JOISTS ETC.) SHALL NOT BE BUILT WITHIN 200MM OF THE INSIDE OF THE CHIMNEY - SANS10400 PART V - 4.3
ALL ESCAPE DOORS TO COMPLY WITH PART T.1.16, 17, 18 & 19 OF SANS 10400.
PROVIDE FIRE HOSE REEL 1/500 SQM.
PROVIDE FIRE EXTINGUISHER 1/200 SQM (1 x 4,5 kg DCP).
ALL FIRE EXTINGUISHING EQUIPMENT TO BE MARKED IN ACCORDANCE WITH PART T.1.32.2 OF SANS 10400.
ALARM AND FIRE PROTECTION PROVIDED ACCORDING TO PART T.1.31.1 OF SANS 10400.
SIGNAGE AND NOTICES PROVIDED IN ACCORDANCE WITH PART 29.1 AND 29.3 OF SANS 10400.
HOT WATER INSTALLATION - DISPERSION PLAN
HWC 1:
200L NEW AQUASOLAR EVACUATED TUBE SOLAR COLLECTOR WATER HEATER.
G-05 Bathroom, G-06 Bathroom, G-07 Bathroom, F-08 Kitchen, F-10 Scullery
HWC 2:
200L NEW AQUASOLAR EVACUATED TUBE SOLAR COLLECTOR WATER HEATER.
F-01 Guest WC, F-03 Laundry, F-04 Bathroom

DISCLAIMER - HOA
"It is acknowledged and understood that any submissions which are approved, do not include automatic approval of any plan and/or structure, which may deviate from any requirement in the Design Guidelines. For any such deviation, the application is to be accompanied by a fully motivated waiver application requesting such extra approval. Only once such Waiver application is approved, may such deviation be included on the plans submitted. No waiver granted in this process will create a precedent for approval of future waiver applications or be construed to modify the plans in any way."

- LEDGEND:**
- FE: FIRE EXTINGUISHER
 - WP: WET POINT
 - FFL: FINISHED FLOOR LEVEL
 - SWP: STORM WATER PIT
 - EJ: EXPANSION JOINT
 - RWP: RAIN WATER DOWNPIPE
 - RWC: RAIN WATER CHANNEL
 - HWC: HOT WATER CYLINDER
 - BIC: BUILD IN CUPBOARD
 - B: BATH
 - HWB: HAND WASH BASIN
 - SH: SHOWER
 - WC: WATER CLOSET
 - S: SINK
 - DW: DISH WASHER
 - WM: WASHING MACHINE
 - TD: TUMBLE DRYER
 - SP: SOIL PIPE / SEWER STACK
 - MH: MANHOLE
 - FD: FLOOR DRAIN
 - FB: FULL BORE DRAIN
 - G: GULLY
 - DB: DISTRIBUTION BOARDS
 - ICOM: INTERCOM
 - MV: MECHANICAL VENTILATION
 - AH: ACCESS HATCH



DRAWING STATUS:
A: Design - B: Marketing - C: Council - D: Tender - E: Construction - F: Record

DOCUMENT REVISION REGISTER:

REV	DATE	DISCUSSION
A	2023-12-12	Specify all dimensions of proposed building
		Indicate all floor to ground heights
		Indicate DPM 150mm from finished ground level
		Waterproofing roof flashing indicated
		Reduce windows to adhere to Fire safety distances
		Annotate the specifications of the rain water tanks

FIRST ISSUE OF DOCUMENT: 20 October 2023

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DRAWING DISCRPTION:
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COUNCIL SUBMISSION
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SCALE/ PAPER SIZE: As indicated/ A1
DRAWING NO: 1075-C-201
REVISION: A